



The Commons Club at The Brooks
Beach Club

Reinvent, Rebuild & Relaunch

A Presentation to our Commons Club Members – March 2023

The Beach Club is our Most Valuable Asset

And the chief reason Gold members belong to TCC.

Our MEMBERS will have a modern facility which is more hurricane resistant.

Our FACILITY will continue be a competitive amenity in the marketplace.

OWNERS in The Brooks and SWP will experience a positive impact on the value of their real estate investment.

The Commons Club at The Brooks

Beach Club



Today's Meeting

- Work To Date
- Communication
- Rebuild Team
- Wants, Needs, and Desires for Rebuild
- Hurdles with Outside Affiliates
- Rough Estimate of Project Funding
- Insurance Update
- Rough Construction Schedule
- Q&A





Week One of Recovery





Rookery Team, Maintenance Team, Beach Team



TCC SNACK BAR/RESTROOMS



Cleanup and Recovery

Staff recovered furniture and picked up debris
Contractors cleared sand and destroyed decking

Beach and member sitting area hand raked
Hazardous areas fenced off

Water supply restored by staff
Portable restrooms purchased

Replacement lounges/umbrellas purchased
**Lighthouse Bay donated
tables and chairs**



Member Communication

TCC Member Emails

President's Letters

September 30th – Initial Notice

October 10th – Update

October 21st – Clean up

November 9th – Restoration

December 22nd – Reopening

February 6th – Town Hall Meetings

Club Communication

October 4th – Ian Impact

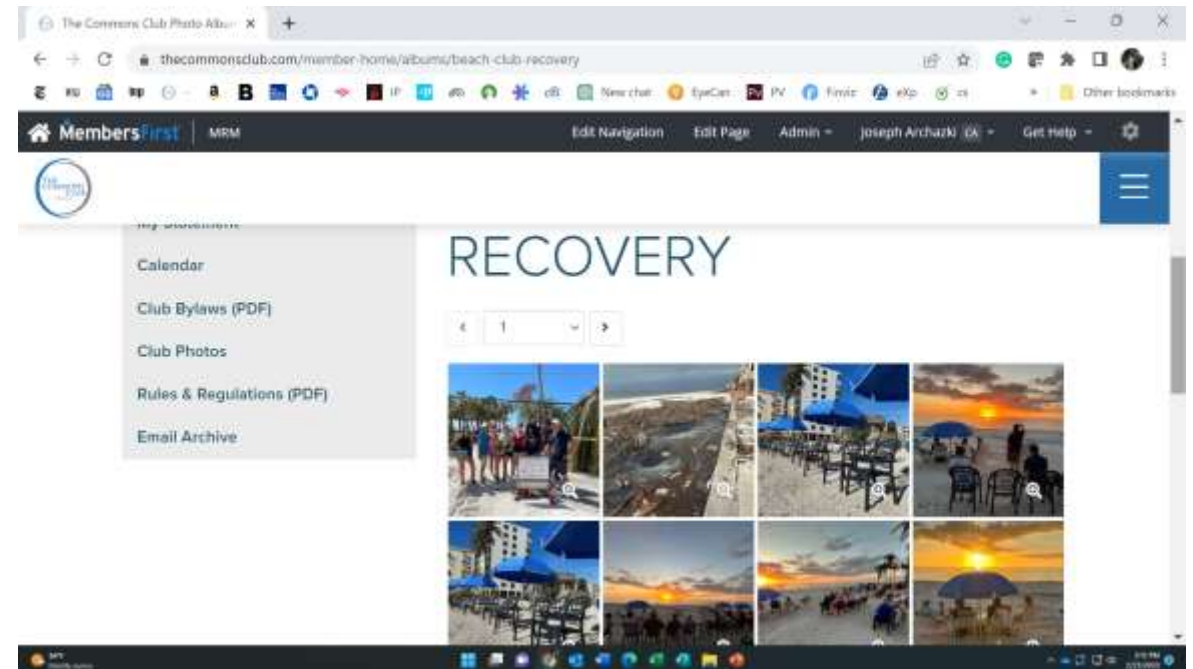
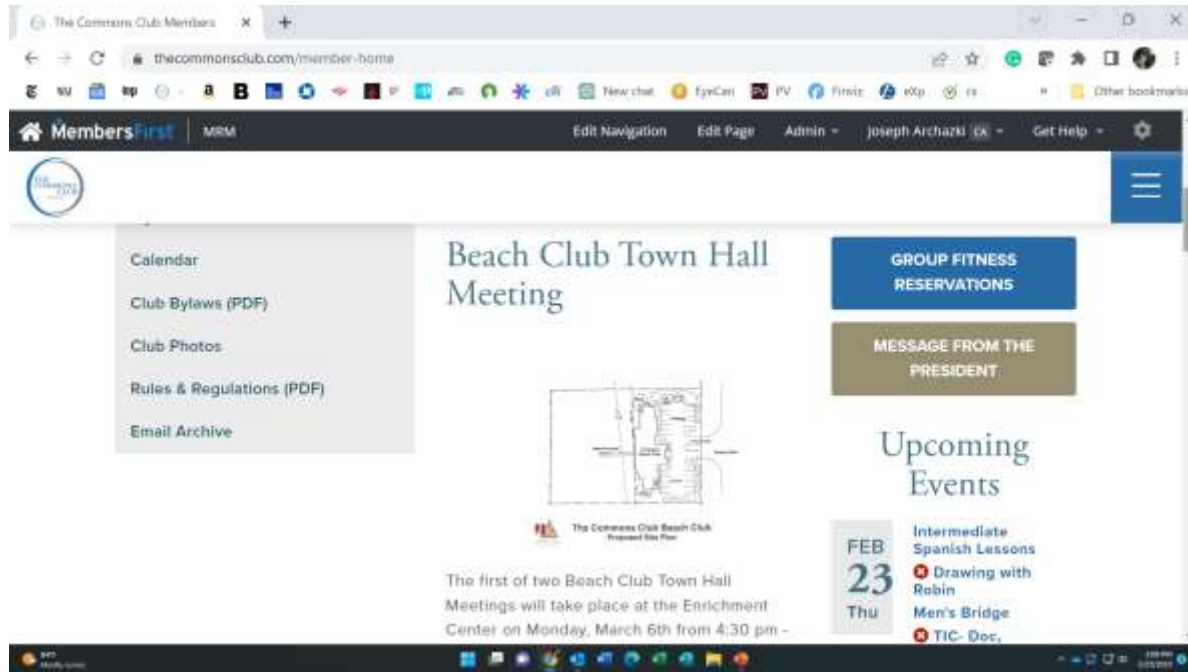
November 11th – Clean up

December 12th – Clean up

February 23rd – Extended Hours

Member Communication

TCC Website Updates



How We Look Today

Beach Hours

Return to Normal Next Week





What's the Plan Going Forward?



The Commons Club at The Brooks

Beach Club Rebuild Committees

Beach Rebuild Committee

Theresa Weinberg, Greg Peterson, Jim Ward, Tom Stitchberry, Sandy Varnum, Management

Beach Committee

Tom Stitchberry, Jane Alter, Peggy Hogan, Sandie DeFrancesco, Evelyn Livingston, Mary Brennan, Carol McConnell, Joe Shannon, Suzie Spence

Finance Committee

Bruce Harris, Jim Ward, Delores Barnett, Eliot Rothwell, Jim McGowan, Paul Henneberry

Future Construction Committee



The Commons Club at The Brooks

Beach Club

Work To Date Engaged Partners

- Attorney: Henderson/Franklin
- Architect: Humphrey Rosal Architects
- Contractor: Garrett Construction
- Civil Engineer: Grady Minor & Associates
- CCCL CE: Humiston & Moore

The Commons Club at The Brooks

Beach Club

Action Steps to Date

- Attorney: Strategized for obtaining a snack bar and building permits
- Architect: 1st and 2nd draft of building's shell
- Contractor: Engaged with cleanup, fencing, electrical, sewer, and lighting
- Civil Engineer: Engaged with City of Bonita Springs
- CCCL CE: Developed permit for defining Coastal Construction Control Line
- Met with City of Bonita Springs: Discussed building code for new construction



The Commons Club at The Brooks

Beach Club

Future Must Haves

- ✓ Comparable deck space to current
- ✓ Member party areas
- ✓ Central general member area
- ✓ Restrooms/showers with HVAC
- ✓ Heaters for sunset when needed
- ✓ Member grill space (8)
- ✓ Maximum beach viewing
- ✓ 90% of seating area should be shaded



The Commons Club at The Brooks Beach Club

Initial Additional Requests

- ✓ Food service
- ✓ Restrooms and showers on 1st level
- ✓ Two levels for seating

The Commons Club at The Brooks

Hurdles with City of Bonita Springs

Zoning:

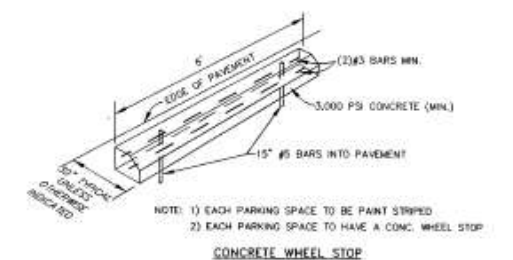
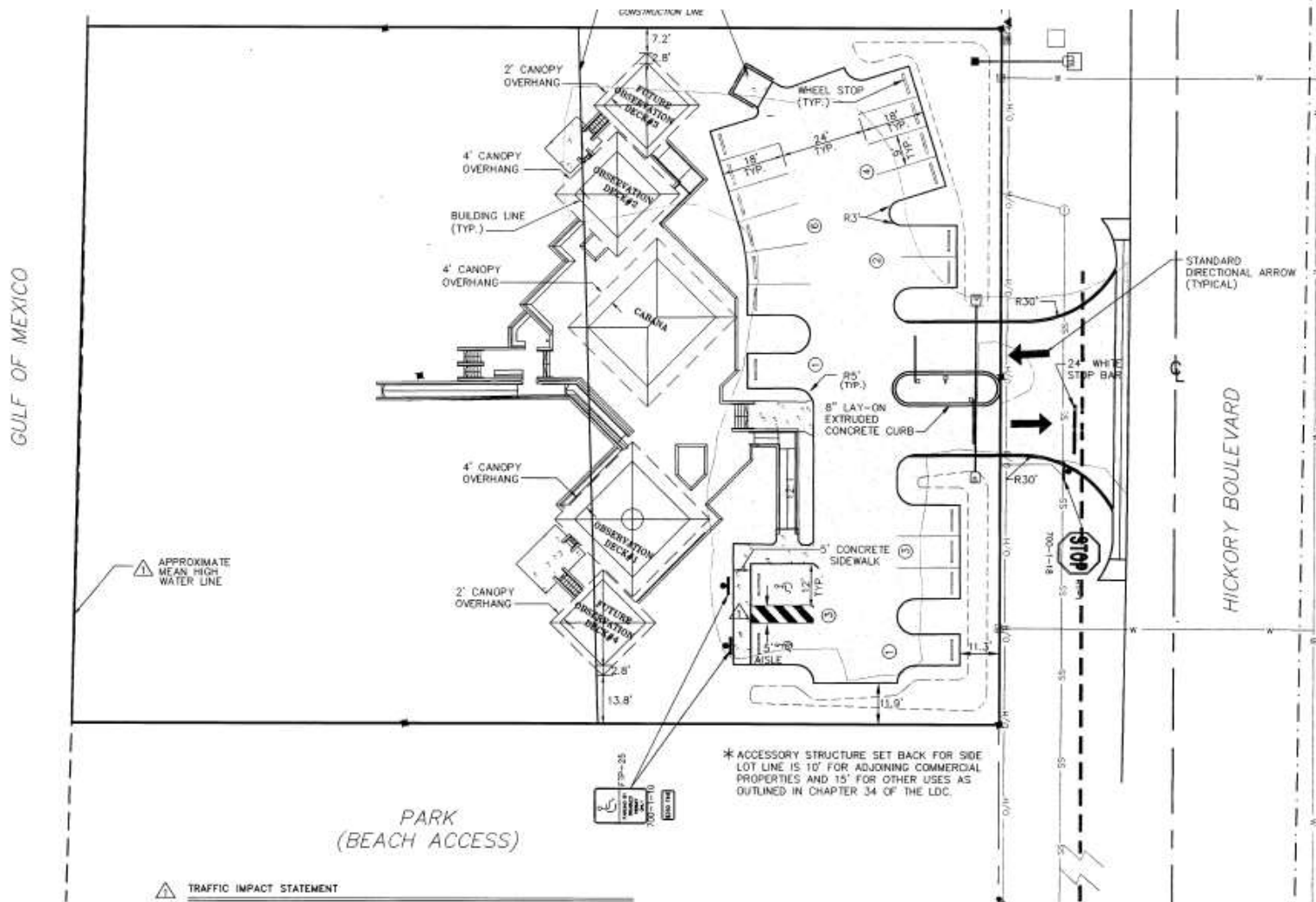
- Zoning Designation: Commercial. C-1
- Future Land Use: Medium Density Multi-Family Residential
- Any expansion or intensification of use requires a special exception

The Commons Club at The Brooks
Hurdles with City of Bonita Springs

Post-Disaster Redevelopment Policy allows build-back to legally documented uses, intensity, size, height, etc

‘Bonita Spring’s staff recommends the Applicant review the originally-approved development order from Lee County (98-09-282-00D)’

Originally-Approved Development Order



SITE CALCULATIONS

TOTAL AREA	= 52,827.3 S.F. (1.21 AC.)
BUILDING AREA	= 3,741.1 S.F. (0.09 AC.)
PAVEMENT/ CONCRETE AREA/ WOOD DECK	= 13,500.4 S.F. (0.31 AC.)
PERVIOUS AREA	= 39,326.9 S.F. (0.91 AC.)

PARKING CALCULATIONS

SINCE THERE IS NO PARKING ALLOTMENT FOR PRIVATE RESIDENTIAL BEACH PARKS AND ACCESSORY USES, THE MOST RESTRICTIVE PARKING CRITERIA HAS BEEN SUBSTITUTED.

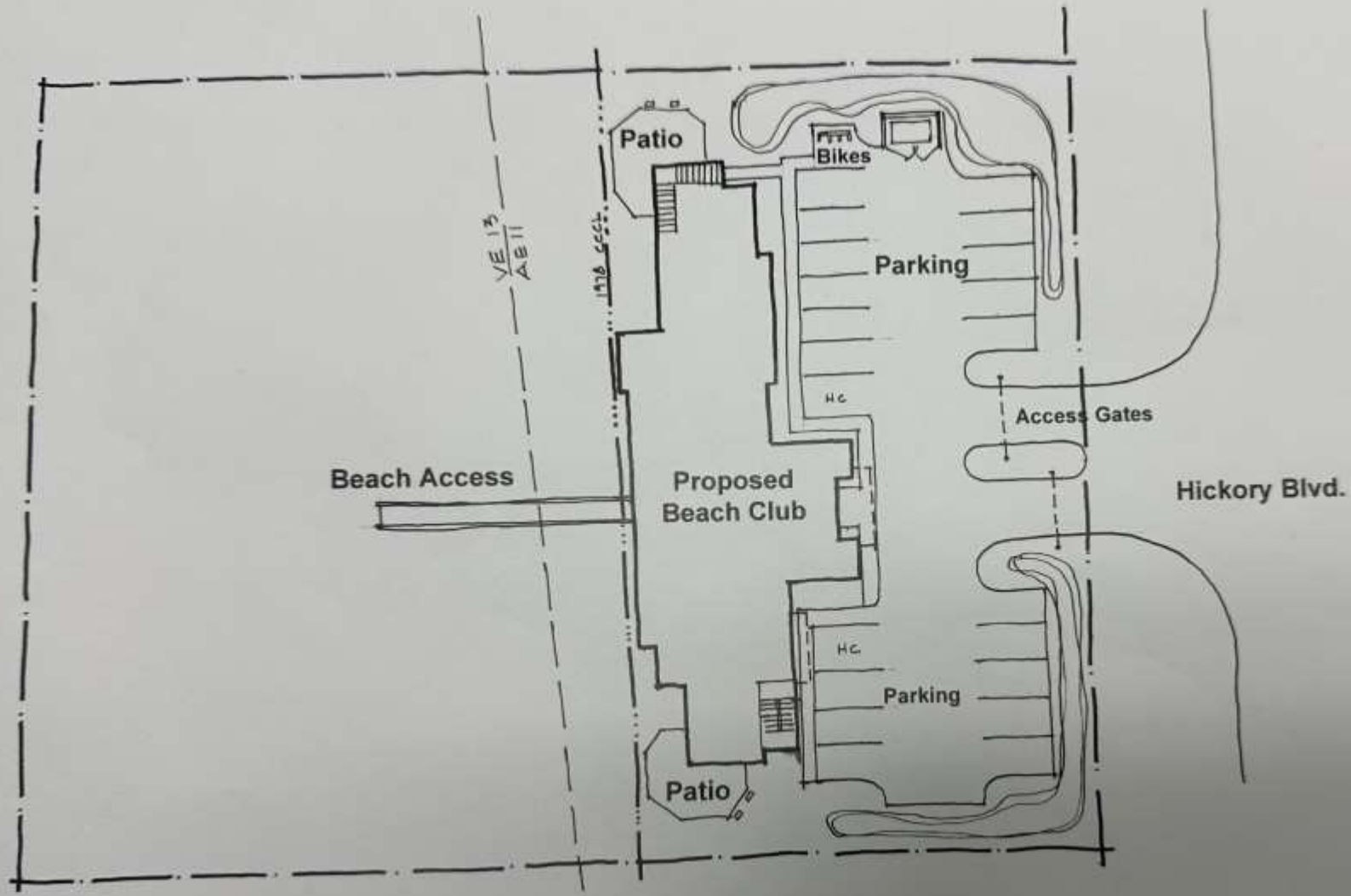
1 SPACE PER 100 S.F. OF FLOOR AREA
1,175 X 1/100 = 12 SPACES

TOTAL PARKING SPACES REQUIRED	= 12 SPACES
TOTAL PARKING SPACES SHOWN	= 20 SPACES
TOTAL HANDICAP SPACES REQUIRED	= 1 SPACES
TOTAL HANDICAP SPACES SHOWN	= 2 SPACES

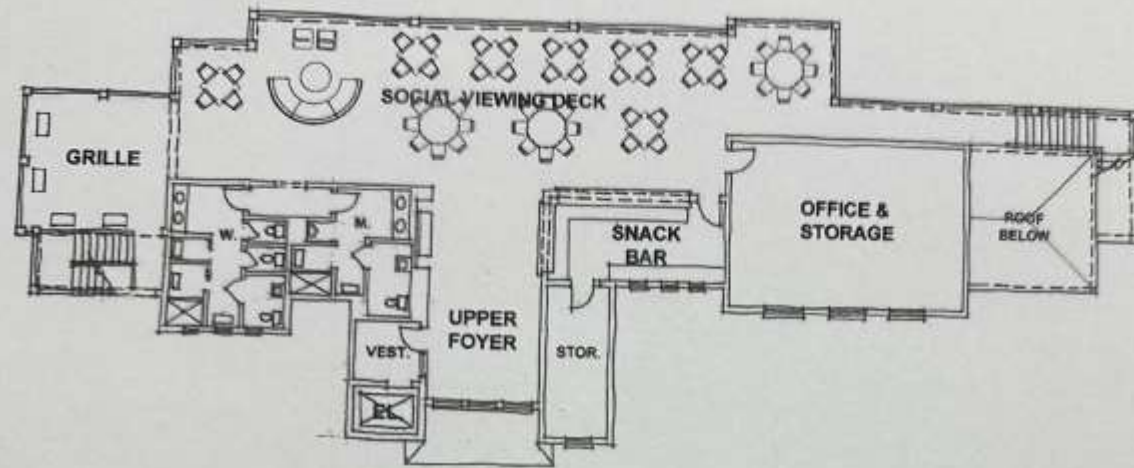
- GENERAL NOTES**
1. THE NEAREST LEE COUNTY TRANSIT SERVICE IS ON HICKORY BOULEVARD AT THE SOUTHEAST CORNER OF THE PROPERTY.
 2. THIS PARCEL IS LOCATED IN THE BONITA SPRINGS FIRE & RESCUE DISTRICT.
 3. THERE ARE NO KNOWN AREAS OF HISTORICAL OR ARCHAEOLOGICAL SIGNIFICANCE ON THIS SITE.
 4. MAXIMUM BUILDING HEIGHT = 35' ABOVE FINISHED GRADE
 5. THE PROJECT WILL HAVE NO IMPACTS ON GROUNDWATER SURFACEWATER, FLOOD PLAINS OR RIVERINE AREAS.
 6. PRIOR TO THE START OF ANY WORK WITHIN COUNTY RIGHT OF WAY, THE CONTRACTOR MUST OBTAIN A RIGHT-OF-WAY PERMIT FROM LEE COUNTY DEPARTMENT OF PUBLIC WORKS, TO PROVIDE A COPY OF THE PERMIT TO LEE COUNTY DEVELOPMENT SERVICES.
 7. ENTRANCE GATE TO REMAIN OPEN UNTIL 8PM.
 8. ENTRANCE GATE TO BE PROVIDED WITH AUTOMATIC MECHANISM TO ALLOW ACCESS TO EMERGENCY VEHICLES.



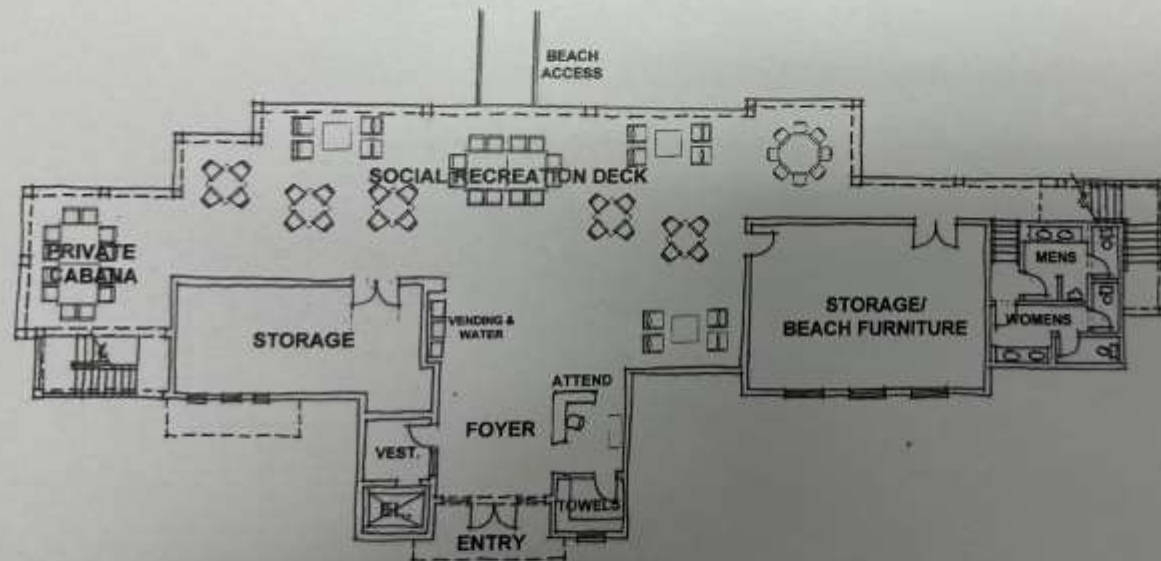
1st Draft Architectural Drawing for Future Beach Club



The Commons Club Beach Club Proposed Site Plan



Second Floor Plan



First Floor Plan

The Commons Club Beach Club

1-13-2023



The Commons Club at The Brooks Beach Club Rebuild Funding

TCC Bylaws

4.3. Assessments. No capital assessment shall be levied upon the Beach Club property unless the assessment has been approved by a majority vote of the eligible voting membership for the Beach Club, except in the event of an extraordinary repair or replacement caused by an act of God or other cause outside of the reasonable control of the Club.

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Insurance Update

Wind coverage was denied.

Flood coverage is still a work in progress

Building Limit \$400,000 with Deductible: \$5,000

Contents Limit: \$233,000 with Deductible: \$5,000

Reconstruction: \$30,000

The snack bar based on the 2018 appraisal has a value of about \$225k. We submitted to the insurance company another \$125k in improvements from the restroom remodel. On contents, equipment, and inventory, we submitted +\$125k.



Draft Beach Club Financing

Cost of Construction – Too early to determine

Rough estimate: \$4,000,000

Potential Funding Options

Operating Cash	Up to \$500,000
Hurricane Reserve	\$350,000
Insurance Recovery	Up to \$450,000
Replacement Reserve	\$300,000
New Capital Reserve	<u>\$400,000</u>
Total Internal Funds	\$1,500,000 to \$2,000,000
Special Assessment	\$2,000,000
	<i>\$1,275 per Gold Membership</i>

Draft Beach Club Rebuild Calendar

Member Use

2023

Jan Preliminary planning/CCCL civil engineering/++
Aug Construction drawings continue
Oct Design review board/++ Bonita Springs

2024

Jan Complete construction drawings
Feb Submit for building permit/issue bid packages
Apr Construction starts
Oct Construction ends – Beach Club reopens

2022

Reopened in December

2023

Return to full hours in March
Possible Grill area added

2024

Regular Hours
Restrictive Access
Main Parking Closed



Q&A Session: See attachment