

LIMITED DEVELOPMENT ORDER AMENDMENT PLANS FOR

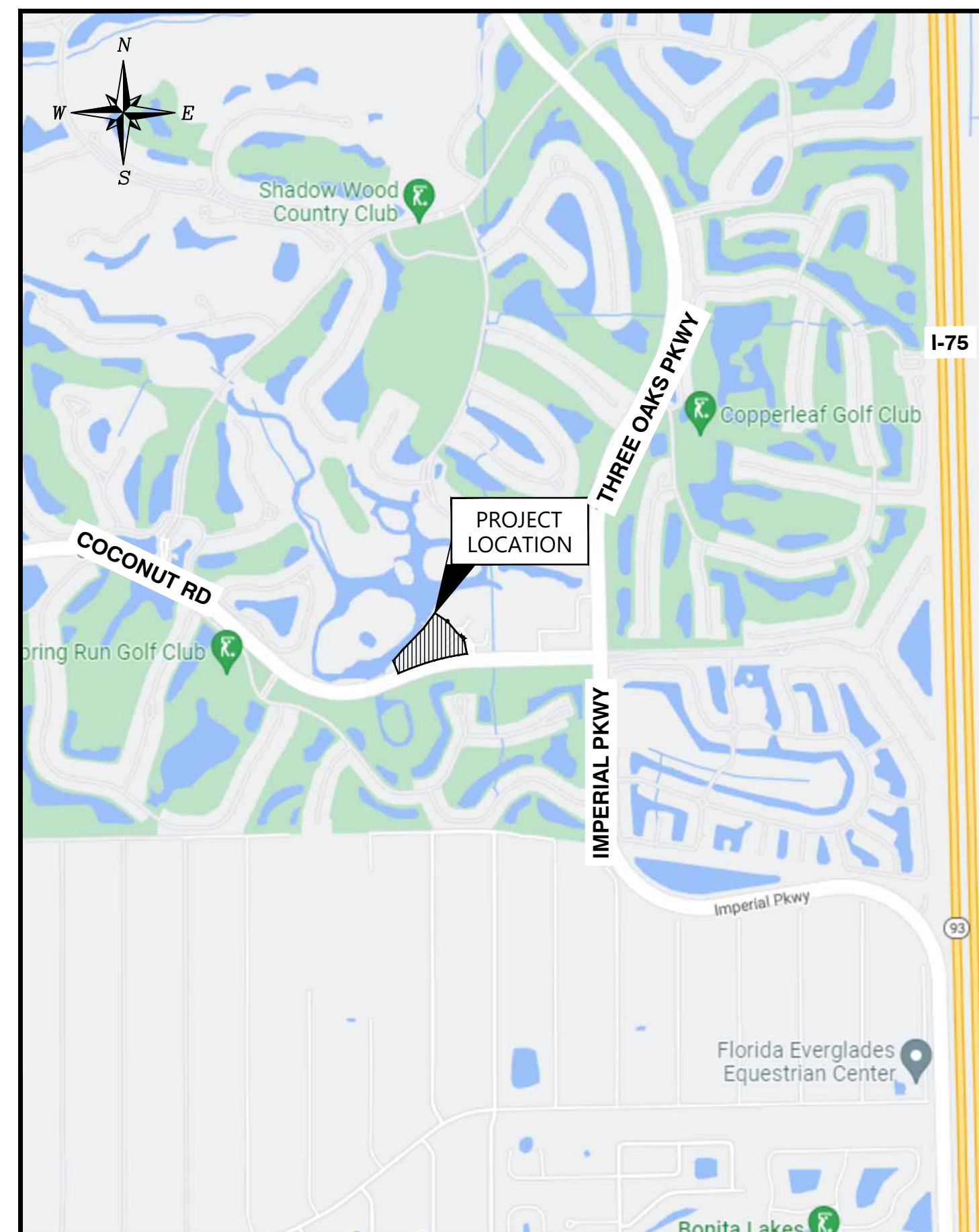
# THE COMMONS CLUB AT THE BROOKS PICKLEBALL FACILITY EXPANSION

PART OF SECTION 10, TOWNSHIP 47S, RANGE 25E,  
LEE, FLORIDA

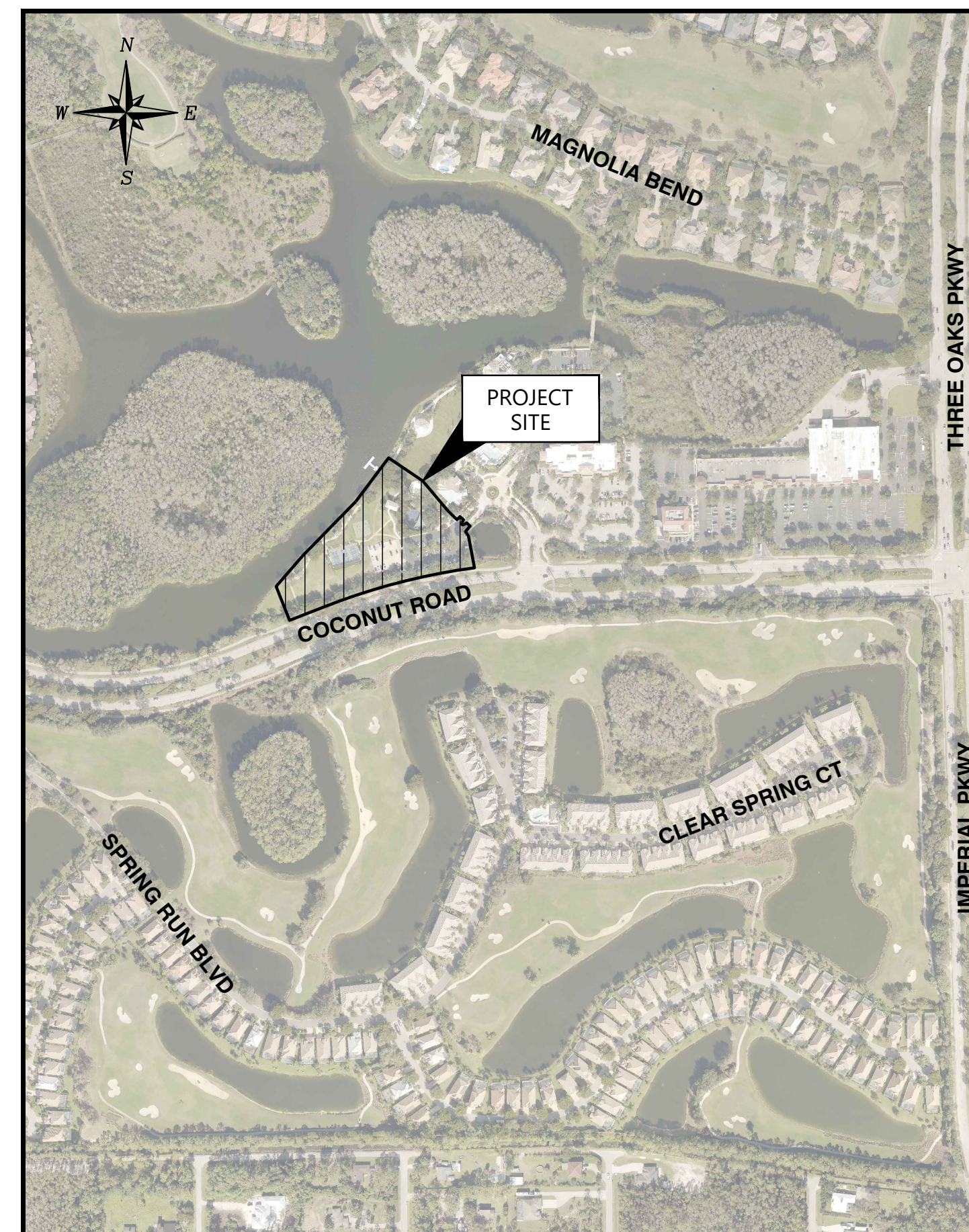
PREPARED FOR/OWNED BY:  
THE COMMONS CLUB AT THE BROOKS, INC.  
9920 COCONUT RD.  
ESTERO, FLORIDA 34135  
(239) 949 - 3804

## SHEET INDEX

Sheet Number	Sheet Title
01	COVER SHEET
02	GENERAL NOTES
03	EXISTING CONDITIONS AND DEMO PLAN
04	MASTER SITE PLAN
05	PHASE 1 CONSTRUCTION
06	PHASE 2 CONSTRUCTION
07	PAVING GRADING & DRAINAGE DETAILS
08	EROSION CONTROL PLAN



PROJECT LOCATION  
N.T.S.



PROJECT SITE  
N.T.S.

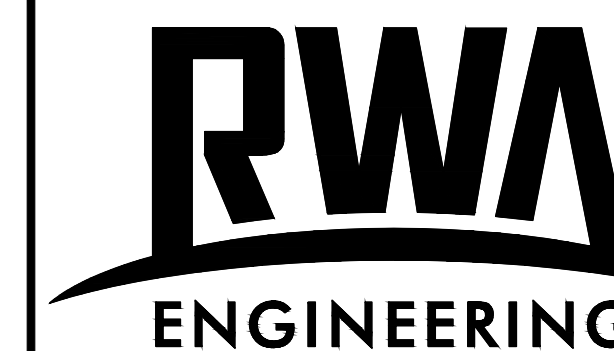
ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM NAVD88. CONVERSION FROM NAVD88 TO NGVD29: NAVD88 + 1.21=NGVD29.

### PROPERTY IDENTIFICATION

STRAP: 10-47-25-E3-42120.1982

### REVISIONS

No.	DATE	DESCRIPTION	APPROVED:
△	01/20/23	REVISED PER SFWMD & VOE COMMENTS	MCP
△	04/17/23	REVISED PER VOE COMMENTS	MCP
△	05/08/23	REVISED COURT FENCING	MCP
△	05/24/23	REVISED PER PZDB STIPULATIONS AND CLIENT	MCP
△	07/07/32	REVISED PER CLIENT	MCP
△	01/17/24	CHANGED CLIENT AND REVISED COURT CONSTRUCTION	MCP



6610 Willow Park Drive  
Suite 200  
Naples, FL 34109  
12800 University Drive  
Suite 175  
Fort Myers, FL 33907  
19503 S West Villages Pkwy  
Unit A5  
Venice, FL 34293  
Office: (239) 597-0575  
Fax: (239) 597-0578  
www.consult-rwa.com  
Florida Certificates of  
Authorization  
EB 7663 LB 6952

ENGINEER'S SEAL:

MICHAEL C. PAPPAS, STATE OF FLORIDA  
LICENSE NO. 60910 RWA, INC.  
STATE OF FLORIDA BUSINESS  
CERTIFICATE NO. EB-0007663

DATE:	NOV., 2022	PROJECT No.:	220002.00.02	SHEET No.:	01 OF 8
-------	------------	--------------	--------------	------------	---------

**GENERAL NOTES:**

- 1. ALL ELEVATIONS REFERENCED WITHIN THIS PLAN SET ARE NORTH AMERICAN VERTICAL DATUM NAVD 88, UNLESS OTHERWISE STATED. CONVERSION TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) IS +1.21.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ANY OTHER CONTRACTORS WHO MAY BE PERFORMING WORK AT THE PROJECT SITE.
- 3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, SIZE AND TYPE OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 4. EXISTING FACILITIES SHALL BE RESTORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
- 5. THE CONTRACTOR SHALL KEEP AND MAINTAIN ON SITE AN ACCURATE UP-TO-DATE SET OF AS-BUILT DRAWINGS. THESE DRAWINGS SHALL INCLUDE LOCATIONS AND ELEVATIONS OF MAINS, FITTINGS, VALVES, SERVICES, CASINGS AND OTHER APPURTENANCES AS WELL AS ANY DEVIATIONS IN THE PLANS. THESE AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE UPON COMPLETION OF THE WORK FOR HIS REVIEW AND USE.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CITY, COUNTY, STATE OR LOCAL CONSTRUCTION PERMITS OR APPROVALS ETC., AND POSTING ALL REQUIRED BONDS, ETC. PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS WITH UTILITY COMPANIES, CITY, COUNTY OR STATE AGENCIES AND THE OWNER'S REPRESENTATIVE.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH CITY, COUNTY AND STATE REQUIREMENTS.
- 8. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND ALL UTILITY COMPANIES IN THE AREA 48 HOURS (MINIMUM) BEFORE BEGINNING CONSTRUCTION.
- 9. THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL APPLICABLE PERMITS ON-SITE AND SHALL BE RESPONSIBLE TO ADHERE TO ALL PERMIT CONDITIONS DURING CONSTRUCTION.
- 10. SUBJECT PROPERTY LIES WITHIN FEMA FLOOD ZONE "AH/X" PER FLOOD INSURANCE RATE MAPS, MAP NUMBER 12071C0593G, DATED 12/07/2018.
- 11. TRASH COLLECTION WILL BE HANDLED VIA EXISTING FACILITIES.

**DEMOLITION NOTES:**

- 1. CONTRACTOR SHALL REMOVE EXISTING STRUCTURES, BUILDINGS, PILES, AND OTHER FEATURES WITHIN THE LIMITS OF THE PROJECT BOUNDARY. THIS SHALL INCLUDE CONCRETE PADS, FENCING UTILITY SERVICES, etc...
- 2. ALL ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED AT THE EXPENSE OF THE CONTRACTOR, INCLUDING ALL DUMPING FEES, UNLESS OTHERWISE NOTED. ALL ITEMS SHALL BE REMOVED TO A DEPTH OF 2' BELOW EXISTING GRADE, OR 2' BELOW THE INVERT OF ANY PROPOSED UTILITIES, EXISTING UTILITIES, SERVICING BUILDINGS TO BE REMOVED SHALL BE PLUGGED BELOW EXISTING GRADE AND BROUGHT TO THE ATTENTION OF OWNER'S REPRESENTATIVE AND THE ENGINEER IMMEDIATELY.
- 3. EXISTING ASPHALT PAVEMENT TO BE REMOVED SHALL BE REMOVED TO A MINIMUM OF THE BOTTOM OF THE PROPOSED LIMEROCK IN PAVED AREAS AND TO 12' BELOW FINISHED GRADE IN UNPAVED AREAS. EXISTING LIMEROCK THAT HAS BEEN REMOVED MAY BE USED TO STABILIZED THE SUBGRADE OF THE PROPOSED PAVEMENT AREAS IF IT MEETS THE REQUIREMENTS AS NOTED IN THE ENGINEER'S TECHNICAL SPECIFICATIONS.
- 4. THIS PLAN IS NOT INTENDED TO BE ALL INCLUSIVE OF EXISTING FACILITIES OR MATERIALS TO BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SCOPE OF WORK IN REGARDS TO MODIFICATIONS OF THE SITE TO ACCOMMODATE PROPOSED IMPROVEMENTS. THIS PLAN DOES NOT ADDRESS EXISTING UNDERGROUND UTILITIES/FACILITIES WHICH MAY BE ENCOUNTERED DURING DEMOLITION OR IMPROVEMENTS. CONTRACTOR SHALL PROTECT AND/OR REPLACE THOSE EXISTING UTILITIES REQUIRED TO ACCOMMODATE THIS PROJECT. OTHER UNDERGROUND UTILITIES TO BE REMOVED OR ABANDONED SHALL BE DISCARDED, DISENGAGED OR REMOVED IN A MANNER CONSISTENT WITH INDUSTRY SAFETY STANDARDS, AS REQUIRED BY OWNER'S REPRESENTATIVE.
- 5. ALL ASPHALT PAVEMENT TO BE REMOVED SHALL BE MECHANICALLY SAW-CUT IN ORDER TO ENSURE CLEAN, STRAIGHT EDGES. CONTRACTOR SHALL COORDINATE THE LIMITS OF THE ASPHALT REMOVAL WITH THIS DEMOLITION PLAN.
- 6. CONTRACTOR SHALL COORDINATE THE REMOVAL OF THE EXISTING FACILITIES WITH THE OWNER'S REPRESENTATIVE WITH REGARDS TO WHEN THE INDIVIDUAL ITEMS ARE TO BE REMOVED.
- 7. CONTRACTOR SHALL PROVIDE A SAFE, OPERABLE SITE FOR EMPLOYEES AND PUBLIC FOR THE CONSTRUCTION AND FUNCTIONS THAT WILL CONTINUE TO OCCUR DURING THE CONSTRUCTION ACTIVITIES.

**PAVING, GRADING & DRAINAGE NOTES:**

- 1. ALL PAVING, GRADING AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF VILLAGE OF ESTERO.
- 2. ALL PIPE LENGTHS ARE PLUS OR MINUS AND ARE MEASURED FROM CENTER OF STRUCTURES UNLESS SHOWN OTHERWISE.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENTS OF VALVE BOX COVERS, MANHOLE RIMS AND COVER, GRATES, ETC., NECESSARY TO MATCH FINAL GRADES AS SHOWN ON PLANS.
- 4. ALL UNPAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE GRASSED AND MULCHED UNLESS OTHERWISE SHOWN ON THE PLANS OR DETAILS.
- 5. EXISTING OFF-SITE DRAINAGE PATTERNS SHALL BE MAINTAINED DURING CONSTRUCTION.
- 6. CONFLICTS BETWEEN WATER AND STORM DRAINAGE ARE TO BE RESOLVED BY ADJUSTING WATER LINES AS NECESSARY UPON APPROVAL BY OWNER'S REPRESENTATIVE.
- 7. PROPOSED PAVERS SHALL BE PRIVATELY MAINTAINED. XXX ITS SUCCESSORS AND/OR ASSIGNS, SHALL REPAIR AND/ OR REPLACE PAVERS THAT ARE DAMAGED BY XXX DURING MAINTENANCE, REPAIR AND/ OR REPLACEMENT OF THE WATER AND SEWER SYSTEMS.
- 8. CONTRACTOR SHALL NOTIFY THE ENGINEER AND COUNTY A MINIMUM OF 48 HOURS BEFORE EACH OF THE FOLLOWING PHASES OF CONSTRUCTION WILL BE READY FOR THE REQUIRED INSPECTIONS:
  - A. DRAINAGE PIPE AFTER PLACEMENT AND PIPE JOINTS ARE SEALED AND BEFORE BACKFILLING;
  - B. HEADWALL FOOTINGS;
  - C. SUBGRADE;
  - D. BASE;
  - E. PRIME;
  - F. EACH SURFACE COURSE;
  - G. FINAL.
- 10. CONTRACTOR SHALL MAINTAIN THE PREVIOUSLY INSTALLED SILT FENCE.
- 11. UNLESS OTHERWISE SHOWN, DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP).
- 12. FOR ALL INLETS AND DRAINAGE STRUCTURES, REFERENCE FDOT INDEXES NO. 425-052.

**WATER, SEWER AND NON-POTABLE IRRIGATION NOTES:**

- 1. ALL WATER, SEWER AND NON-POTABLE IRRIGATION CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF BONITA SPRINGS UTILITIES (BSU).
- 2. THE CONTRACTOR SHALL NOTIFY BONITA SPRINGS UTILITIES (BSU) AND THE ENGINEER 48 HOURS IN ADVANCE PRIOR TO ANY UTILITY CONSTRUCTION, FLUSHING, TESTING, SAMPLING OR CONNECTION TO EXISTING SYSTEMS.
- 3. ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE BY THE CONTRACTOR ONLY AFTER THE CONNECTION PROCEDURE AND HIS WORK SCHEDULE HAS BEEN REVIEWED AND APPROVED BY LEE COUNTY. THE CONTRACTOR SHALL NOTIFY LEE COUNTY A MINIMUM OF 72 HOURS IN ADVANCE OF THE CONNECTION.
- 4. CROSSOVER AND SEPARATION REQUIREMENTS:
  - A. SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL UTILITY AUTHORITY AND SHALL NOT BE LESS THAN THE REQUIREMENTS OF FDEP INCLUDING CHAPTER 62-555.314 OF THE FAC.
  - B. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE FOLLOWING PIPELINES SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE:
  - C. GRAVITY SANITARY SEWERS OR PRESSURE WASTEWATER FORCE MAINS WITH LESS THAN SIX FEET VERTICAL CLEARANCE.
  - D. STORM SEWER WITH LESS THAN THREE FEET VERTICAL CLEARANCE.
- 5. WATER SYSTEM NOTES (WMI):
  - A. PVC WATER PIPE 4-INCH THROUGH 12-INCH DIAMETER SHALL CONFORM TO THE REQUIREMENTS OF AWWA C-900, DR 18 (CLASS 235), FITTINGS SHALL BE MECHANICAL JOINT DUCTILE IRON CONFORMING TO AWWA C-110.350 PSI MINIMUM PRESSURE RATING.
  - B. PVC WATER PIPE 6-INCH THROUGH 12-INCH DIAMETER UNDER ROADWAY PAVEMENT BY DIRECT BURY SHALL CONFORM TO THE REQUIREMENTS OF DUCTILE IRON (CLASS 250) UNLESS SHOWN OTHERWISE ON PLANS.
  - C. WATER SERVICE PIPE 2-INCH DIAMETER AND SMALLER SHALL BE POLYETHYLENE PIPING, PE 3408 (SDR 9, 200 PSI, ASTM D3350), CONFORMING TO AWWA C-901. PLACE PIPE IN SCHEDULE 40 PVC CASING UNDER PAVED AREAS.
  - D. WATER DISTRIBUTION LINES SHALL HAVE A 3-FOOT MINIMUM COVER FROM FINISHED GRADE.
  - E. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE GENERAL ALIGNMENT OF THE WATER LINE BY USING JOINT DEFLECTION OR BENDS AS APPLICABLE.
  - F. ALL PVC PIPE USED FOR POTABLE WATER SHALL BE COLORED BLUE.
  - G. ALL WATER METERS SHALL CONFORM TO AWWA C-700 OR NSF 61 STANDARDS.
  - H. BACKFLOW PREVENTER ASSEMBLIES SHALL CONFORM TO AWWA-14 STANDARDS.
    - 1. FIRE HYDRANT ASSEMBLIES SHALL CONFORM TO AWWA C-502 STANDARDS.
- 6. GRAVITY SEWER PIPE NOTES:
  - A. PVC GRAVITY SEWER PIPE AND FITTINGS 4-INCH THROUGH 15-INCH DIAMETER SHALL CONFORM TO THE REQUIREMENTS OF ASTM D-3034, SDR 26 (MIN.) AND SHALL BE GREEN IN COLOR.
- 7. NON-POTABLE IRRIGATION PIPE NOTES (IM):
  - A. PVC IRRIGATION PIPE 4-INCH DIAMETER AND LARGER LOCATED IN NON-PAVED AREAS SHALL CONFORM TO THE REQUIREMENTS OF AWWA C-900, DR 18 (PRESSURE CLASS 150), FITTINGS SHALL BE MECHANICAL JOINT DUCTILE IRON.
  - B. PVC IRRIGATION PIPE 3-INCH DIAMETER SHALL CONFORM TO THE REQUIREMENTS OF ASTM D2241, SDR 21 (PRESSURE CLASS 200).
  - C. IRRIGATION SERVICE PIPE 2-INCH DIAMETER AND SMALLER SHALL BE POLYETHYLENE PIPING, PE 3408 (SDR 9, 200 PSI, ASTM D3350), CONFORMING TO AWWA C-901. PLACE PIPE IN SCHEDULE 40 PVC CASING UNDER PAVED AREAS.
  - D. IRRIGATION DISTRIBUTION LINES SHALL HAVE A 3-FOOT MINIMUM COVER FROM FINISHED GRADE.
  - E. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE GENERAL ALIGNMENT OF THE IRRIGATION LINE BY USING JOINT DEFLECTION OR BENDS AS APPLICABLE.
  - F. CONFLICTS BETWEEN IRRIGATION AND STORM OR SEWER LINES AND STRUCTURES ARE TO BE RESOLVED BY ADJUSTING IRRIGATION LINES AS NECESSARY UPON APPROVAL BY THE ENGINEER.
  - G. ALL PVC PIPE AND SERVICE TUBING USED FOR IRRIGATION SHALL BE COLORED PURPLE.

**EXISTING VEGETATION AND CONSERVATION NOTES:**

- 1. PRIOR TO COMMENCEMENT OF CONSTRUCTION, ALL EXISTING NATIVE VEGETATION NOT WITHIN THE LIMITS OF CONSTRUCTION SHALL BE FLAGGED TO BE PRESERVED. THE CONTRACTOR SHALL INSTALL ENVIROFENCE (OR EQUAL) BEYOND THE DRIP LINES OF THE RETAINED VEGETATION AND ALONG THE LIMITS OF CLEARING. THIS FENCE SHALL REMAIN ERECTED & MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITIES.
- 2. ALL EXOTIC VEGETATION AS DEFINED BY COUNTY SHALL BE REMOVED FROM THE SITE PRIOR TO PRELIMINARY ACCEPTANCE. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE SUBSEQUENT ANNUAL REMOVAL OF ALL EXOTIC VEGETATION, IN PERPETUITY.
- 3. SIGNAGE SHALL BE PLACED AROUND PRESERVE AREA TO IDENTIFY AND PROTECT PRESERVE AREA. S.F.W.M.D. SIGNAGE STANDARDS SHALL BE USED.
- 4. EXISTING NATIVE VEGETATION LOCATED WITHIN THE DEVELOPABLE AREA AND NOT CLEARED AS PART OF THIS PERMIT SHALL BE PROTECTED WITH BARRICADES. BARRICADES WILL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.

**STANDARD ABBREVIATIONS:**

(UNLESS OTHERWISE SHOWN, ABBREVIATIONS AND SYMBOLS ARE SET OUT IN FDOT STANDARD INDEX - FY 2020-21)

AD	AREA DRAIN / ATRIUM DRAIN	ID	INSIDE DIAMETER
ADA	AMERICAN WITH DISABILITIES ACT	INV	INVERT ELEVATION
AE	ACCESS EASEMENT	IRRG	IRRIGATION
ARV	AIR RELEASE VALVE	LBE	LANDSCAPE BUFFER EASEMENT
BFP	BACKFLOW PREVENTER	LCEC	LEE COUNTY ELECT. COOPERATIVE
BL	BASE LINE	LME	LAKE MAINTENANCE EASEMENT
BOV	BLOW-OFF VALVE	LP	LOW POINT
BOC	BACK OF CURB	LL or L	LEFT LINE
BOT	BOTTOM	LT	LEFT
BOW	BOTTOM OF WALL	LF	LINEAR FEET
CAP	CORRUGATED ALUMINUM PIPE	MJ	MANHOLE
CATV	CABLE TV	MJ	MECHANICAL JOINT FITTING
CE	CONTROL ELEVATION	MES	MITERED END SECTION
CIP	CAST IN PLACE	NAVD	NORTH AMERICAN VERT. DATUM
CJ	CONTROL JOINT	NEIE	NORTH EAST INVERT ELEVATION
CL or C	CENTER LINE	NGVD	NATIONAL GEODETIC VERT. DATUM
CLR	CLEAR	NIC	NOT IN CONTRACT
CMU	CORRUGATED ALUMINUM PIPE	ON CENTER	ON CENTER
CO	CORRUGATED METAL PIPE	OD	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	PC	POINT OF CURVATURE
CO	CLEAN OUT	PV	POINT OF VALVE
CS	CONTROL STRUCTURE	PL or R	PROPERTY LINE
CUE	LEE COUNTY UTILITY EASEMENT	PP	POWER POLE
DE	DRAINAGE EASEMENT	PSP	PERMANENT SAMPLE POINT
DIP	DUCTILE IRON PIPE	PT	POINT OF TANGENCY
DN	DOWN	PUE	PUBLIC UTILITY EASEMENT
DOT	DEPART. OF TRANSPORTATION	PV	PLUG VALVE
DIA	DIAMETER	PVC	POLY VINYL CHLORIDE PIPE
DR	DIMENSION RATIO	PVCF	POLYVINYL CHLORIDE FENCE
EJ	EXPANSION JOINT	PVI	POINT OF VERT. INTERSECTION
EL	ELEVATION	PS	PUMP STATION
ELEV	ELECTRICAL ELEVATION	RCP	REINFORCED CONCRETE PIPE
EOP	EDGE OF PAVEMENT	RT	RIGHT
EW	EDGE OF WATER	RCWM	RECLAIMED WATER MAIN
ERCP	ELLIPTICAL REIN. CONC. PIPE	RM	REUSE MAIN
FC	FIRE CONTROL DISTRICT	ROW	RIGHT OF WAY
FDC	FIRE DEPARTMENT CONNECTION	R/W	RIGHT OF WAY
FDOT	FLORIDA DEPT. OF TRANSPORT.	R	RADIUS
FE	FINISHED FLOOR ELEVATION	S/W	SIDEWALK
FH	FIRE HYDRANT	SWLK	SIDEWALK
FL	FLOW LINE	SS	SANITARY SEWER
FM	FORCE MAIN	STA	STATION
FND	FOUNDATION	STR	STORM STRUCTURE
FOC	FACE OF CURB	TBF	TEMPORARY BACKFLOW
FPL	FLORIDA POWER & LIGHT	TBO	TEMP. BLOW-OFF ASSEMBLY
FRCP	FIBER REINFORCED CONC. PIPE	TBR	TO BE REMOVED
GALV	GALVANIZED	TEMP	TEMPORARY
GE	GRATE ELEVATION	TBSP	TEMP. BACTERIAL SAMPLE POINT
GV	GATE VALVE	TOB	TOP OF BANK
HDPE	HIGH DENSITY POLYETHYLENE	TOS	TOE OF SLOPE
HP	HIGH POINT	TOW	TOP OF WALL
		TSP	TEMPORARY SAMPLE POINT
		TYP.	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
		VG	VALLEY GUTTER
		WM	WATER MAIN
		YD	YARD DRAIN

**SYMBOLS:**

(UNLESS OTHERWISE SHOWN, ABBREVIATIONS AND SYMBOLS ARE SET OUT IN FDOT STANDARD INDEX - FY 2020-21.)

**UTILITIES**

(EXIST)	(PROP)	UTILITIES (CONTINUED)
		= 11.25° TO 90° BEND
		= TEE
		= CROSS
		= WYE
		= CHECK VALVE
		= POST INDICATOR VALVE
		= AIR RELEASE VALVE

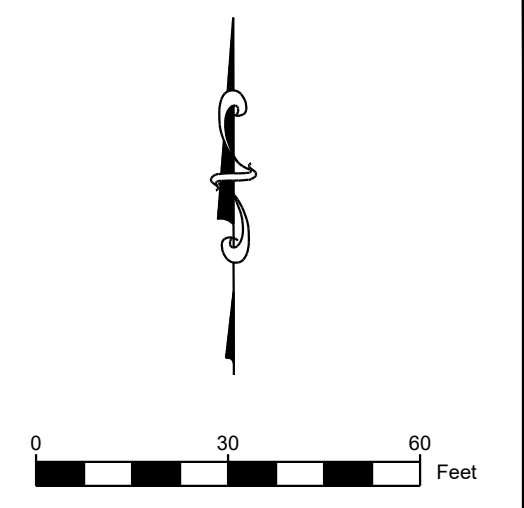
**MISCELLANEOUS**


**LINE TYPE LEGEND: (UNLESS OTHERWISE SHOWN)**

STANDARD LINES:	STANDARD HATCHES:

**"Call Before You Dig"**  
Call Sunshine State One Call, at 811 or 800-432-4770, two full days before digging in any easement, right-of-way or permitted use area.

		12800 University Drive, Suite 175 Fort Myers, Florida 33907 (239) 597-0575 FAX: (239) 597-0578 www.consult-rwa.com Florida Certificates of Authorization EB 7663 LB6952	DATE: NOV., 2022 SEC: 10 TWP: 47S RGE: 25E DESIGNED: MCP DRAWN: HGD	HORIZ. SCALE (FULL): N/A HORIZ. SCALE (HALF): N/A VERT. SCALE (FULL): N/A VERT. SCALE (HALF): N/A	CLIENT: THE COMMONS CLUB AT THE BROOKS, INC.	TITLE: GENERAL NOTES	PROJECT: THE COMMONS CLUB AT THE BROOKS PICKLEBALL FACILITY EXPANSION	PROJECT NO.: 220002.00.02	FILE NAME: 02 2200020100C GN01	SHEET NUMBER: 02 OF 8	MICHAEL C. PAPPAS FLORIDA LICENSE NO. 60910
--	--	--	--	--	--	----------------------	---	---------------------------	--------------------------------	-----------------------	--



LEGEND	
	EX. PAVEMENT/CONCRETE/ GRAVEL TO BE REMOVED
ALL ELEVATIONS REFERENCE NAVD 1988	
AERIAL DATE: JAN 2022	

**NOTE:**  
 1. ALL EXISTING PAVER BRICKS NOTED TO BE REMOVED MAY BE RE-USED AT OWNERS DISCRETION.

REV #	REVISION	HGD	MCP	DATE
1	CHANGED CLIENT AND REVISED COURT CONSTRUCTION			01/17/24
2	REVISED PER CLIENT	SCF	MCP	07/07/23
3	REVISED PER SPWMD & VOE COMMENTS	HGD	MCP	01/20/23
4	REVISION	DRAWN	CHECKED	DATE

**RWA ENGINEERING**

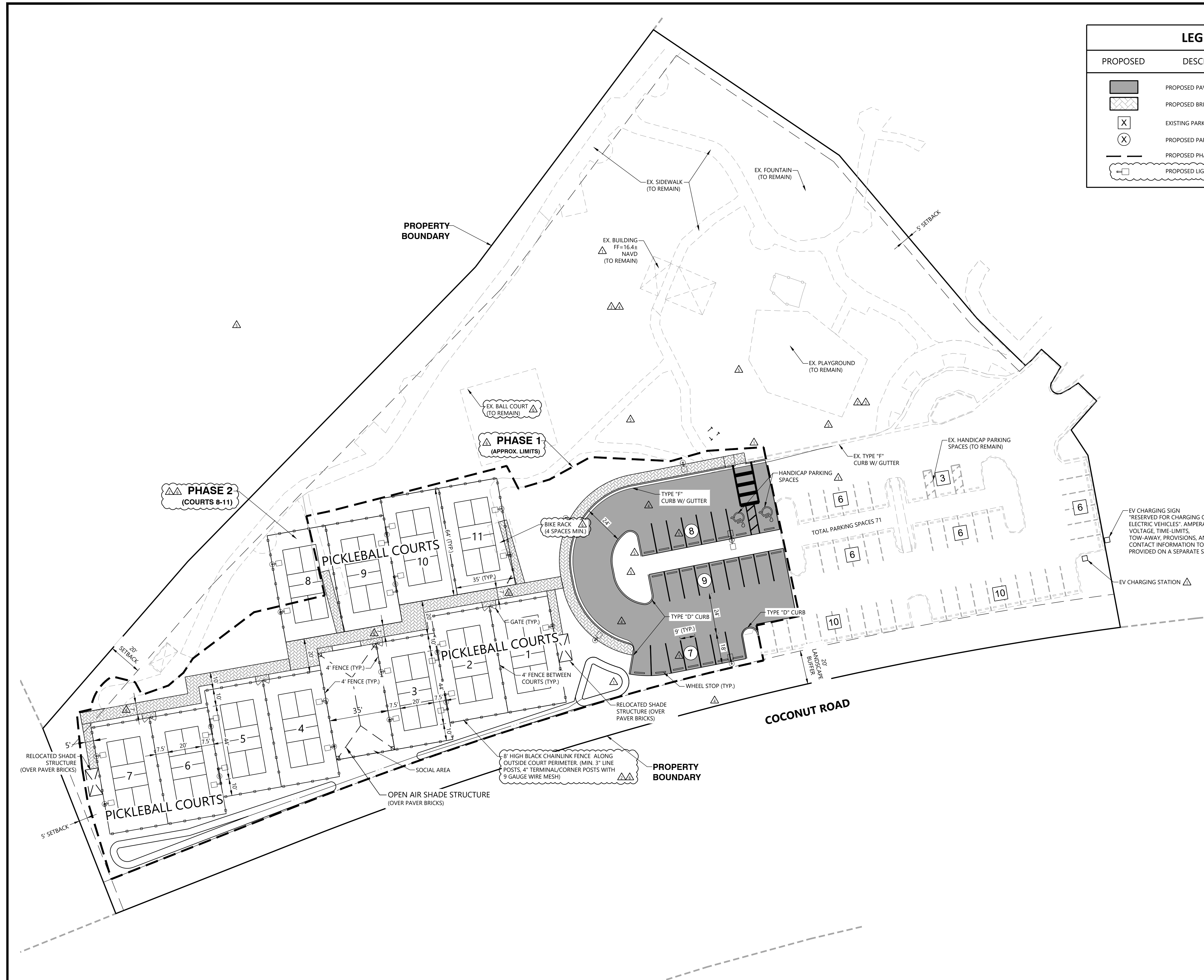
12800 University Drive, Suite 175  
 Fort Myers, Florida 33907  
 (239) 597-0575 FAX: (239) 597-0578  
 www.consult-rwa.com  
 Florida Certificates of Authorization  
 EB 7663 LB6952

DATE: NOV, 2022	HORIZ. SCALE (FULL): 1" = 30'
SEC: 10 TWP: 47S RGE: 25E	HORIZ. SCALE (HALF): 1" = 60'
DESIGNED: MCP	VERT. SCALE (FULL): N/A
DRAWN: HGD	VERT. SCALE (HALF): N/A

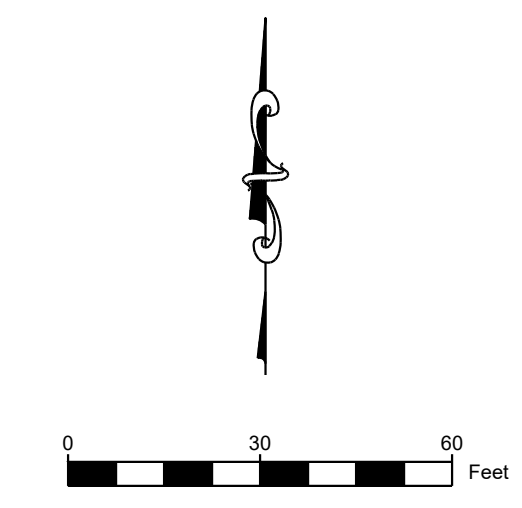
CLIENT: THE COMMONS CLUB AT THE BROOKS, INC.	TITLE: EXISTING CONDITIONS AND DEMO PLAN
--	--

PROJECT: THE COMMONS CLUB AT THE BROOKS, INC. PICKLEBALL FACILITY EXPANSION	PROJECT NO.: 220002.00.02	FILE NAME: 03 2200020100C EX01	SHEET NUMBER: 03 OF 8	MICHAEL C. PAPPAS FLORIDA LICENSE NO. 60910
---	---------------------------	--------------------------------	-----------------------	--

February 12, 2024 9:35 AM K:\2022\220002\00.02 The Commons Club - Pickleball Redesign\03 Civil Design And Construction Plans\Current Plans\Sheet Files\03 2200020100C EX01.dwg



LEGEND	
PROPOSED	DESCRIPTION
	PROPOSED PAVEMENT
	PROPOSED BRICK PAVERS
	EXISTING PARKING COUNT
	PROPOSED PARKING COUNT
	PROPOSED PHASE LINE
	PROPOSED LIGHT



EXISTING PARKING CALCULATIONS			
USE	INTENSITY	RATIO	REQUIRED
RESTAURANT	10,494 SF *	12.5 / 1,000 SF	131
OUTDOOR SEATING	1,687 SF *	12.5 / 1,000 SF	21
HEALTH CLUB	16,648 SF *	5 / 1,000 SF	83
ENRICHMENT CENTER	4,863 SF *	3.5 / 1,000 SF	17
OFFICE	40,000 SF *	1 / 350 SF	114
SPORTS COURTS	3.5 *	3 / COURT	11
REQUIRED	TOTAL SPACES	377	
	HANDICAP SPACE	8	
	BICYCLE	19	
PROVIDED	TOTAL SPACES	390	
	STANDARD SPACES	370	
	HANDICAP SPACE	20	
	BICYCLE	28	

PROPOSED PARKING CALCULATIONS			
USE	INTENSITY	RATIO	REQUIRED
RESTAURANT	10,494 SF *	12.5 / 1,000 SF	131
OUTDOOR SEATING	1,687 SF *	12.5 / 1,000 SF	21
HEALTH CLUB	16,648 SF *	5 / 1,000 SF	83
ENRICHMENT CENTER	4,863 SF *	3.5 / 1,000 SF	17
OFFICE	40,000 SF *	1 / 350 SF	114
SPORTS COURTS	3.5 *	3 / COURT	33
REQUIRED	TOTAL SPACES	399	
	HANDICAP SPACE	9	
	BICYCLE	19	
PROVIDED	TOTAL SPACES	414	
	STANDARD SPACES	392	
	HANDICAP SPACE	22	
	BICYCLE	19	

LAND USE SUMMARY		
COVERAGE	EXISTING (AC)	PROPOSED (AC)
BUILDING	0.02	0.02
PERVIOUS AREA	2.46	1.63
IMPERVIOUS AREA	1.25	2.08
TOTAL AREA	3.73	3.73

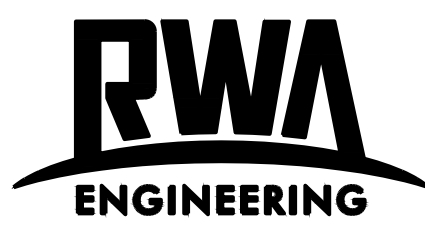
WATER MANAGEMENT SUMMARY * Δ	
BASIN 2B	ELEVATION
CONTROL ELEVATION	13.60 NGVD29/12.39 NAVD88
5 YEAR 1 DAY PEAK STAGE	14.85 NGVD29/13.64 NAVD88
MIN. PROP ROAD CROWN	15.6 NGVD29/14.39 NAVD88
100 YEAR 3 DAY PEAK STAGE	16.61 NGVD29/15.40 NAVD88
MIN. PROP FINISHED FLOOR	17.1 NGVD29/15.89 NAVD88

\* INFORMATION FROM APP. NO. 970710-1 Δ

PHASING PLAN	
PHASE	DESCRIPTION
1	REMOVE EXISTING COURTS, DEVELOP COURTS 1-7, SIDEWALK, OPEN AIR SHADE STRUCTURE NEAR COURTS, AND PARKING.
2	DEVELOP COURTS 8-11

OPEN SPACE REQUIRED = 30%  
OPEN SPACE PROVIDED = 44%

Δ	CHANGED CLIENT AND REVISED COURT CONSTRUCTION	HGD	MCP	01/17/24
Δ	REVISED PER CLIENT	SCF	MCP	07/07/23
Δ	REVISED PER PZDB STIPULATIONS AND CLIENT	HGD	MCP	05/24/23
Δ	REVISED COURT FENCING	HGD	MCP	05/08/23
Δ	REVISED PER VOE COMMENTS	HGD	MCP	04/17/23
Δ	REVISED PER SFWMD & VOE COMMENTS	HGD	MCP	01/20/23
REV #	REVISION	DRAWN	CHECKED	DATE



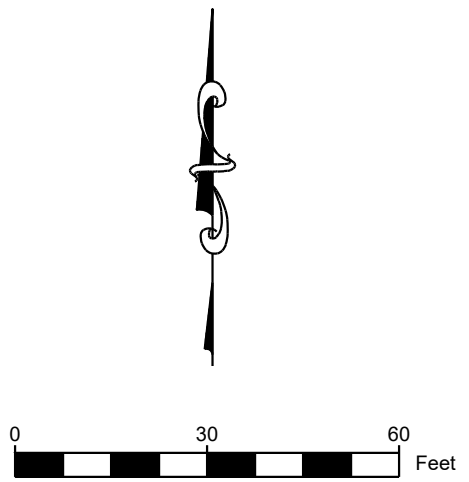
12800 University Drive, Suite 175  
Fort Myers, Florida 33907  
(239) 597-0575 FAX: (239) 597-0578  
www.consult-rwa.com  
Florida Certificates of Authorization  
EB 7663 LB6952

DATE	NOV, 2022	HORIZ. SCALE (FULL)	1" = 30'
SEC.	TWP.	RGE.	HORIZ. SCALE (HALF)
10	47S	25E	1" = 60'
DESIGNED:	MCP	VERT. SCALE (FULL)	N/A
DRAWN:	HGD	VERT. SCALE (HALF)	N/A

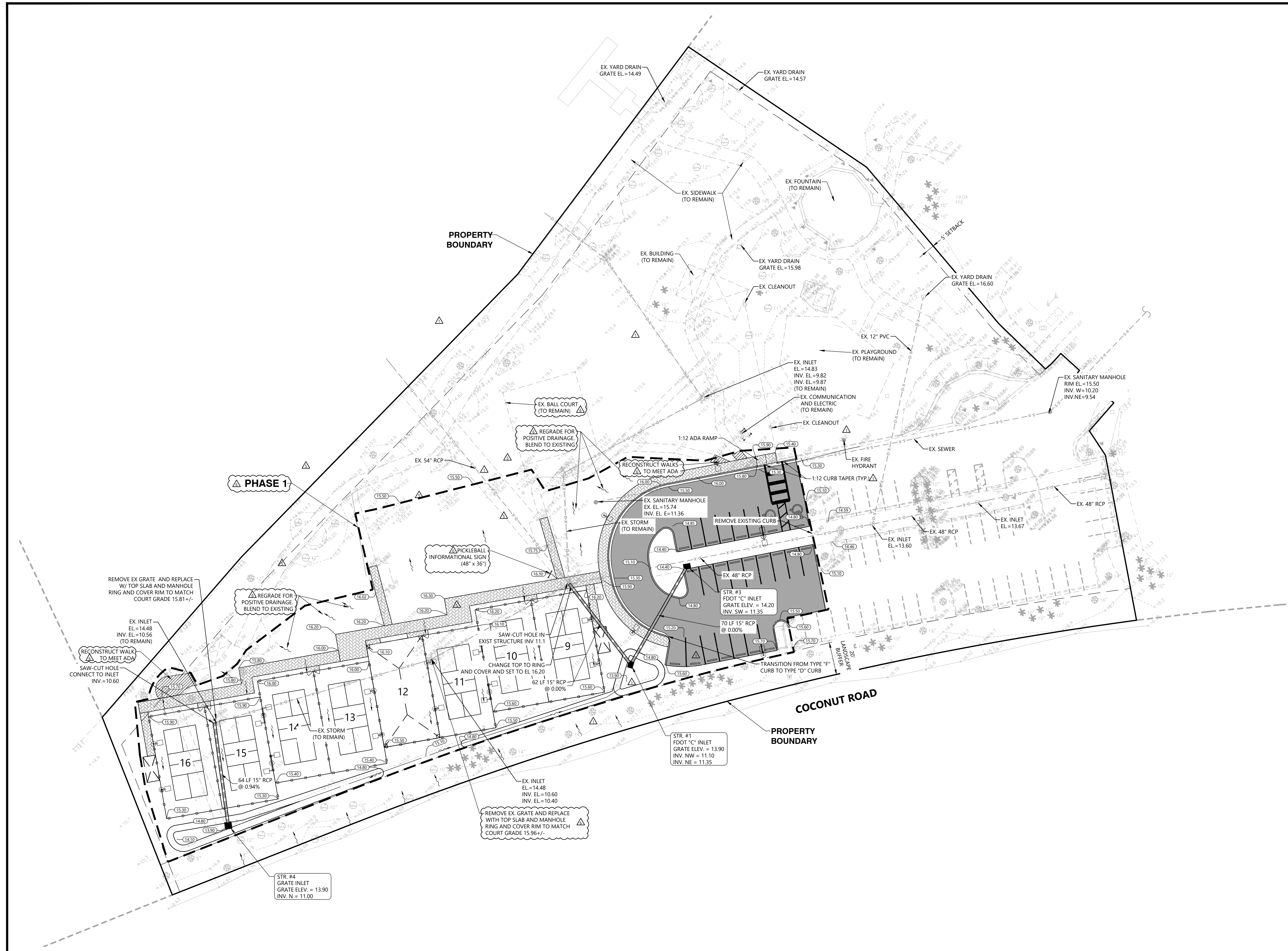
CLIENT: THE COMMONS CLUB AT THE BROOKS, INC. Δ

TITLE: MASTER SITE PLAN

PROJECT:	THE COMMONS CLUB AT THE BROOKS Δ PICKLEBALL FACILITY EXPANSION		
PROJECT NO.:	220002.00.02	FILE NAME:	04 2200020100C MP01
SHEET NUMBER:	04	OF	8
			MICHAEL C. PAPPAS FLORIDA LICENSE NO. 60910



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
---	---	SANITARY GRAVITY SEWER
---	---	WATER MAIN
---	---	FORCE MAIN
---	---	IRRIGATION MAIN
---	---	FIRE MAIN
---	---	STORM SEWER
○	○	SANITARY MANHOLE
□	□	STORM INLET/JUNCTION BOX
△	△	STORM FLARED END
▽	▽	CLEAN-OUT (SINGLE)
○	○	WATER METER
+	+	GATE VALVE
⊕	⊕	PARALLEL FIRE HYDRANT ASSEMBLY
N/A	N/A	POWER POLE
N/A	⊕	POWER POLE
N/A	▨	PROPOSED PAVEMENT
N/A	▩	PROPOSED BRICK PAVERS
N/A	- - -	PROPOSED PHASE LINE



REV #	REVISION	DRAWN	CHECKED	DATE
1	CHANGED CLIENT AND REVISED COURT CONSTRUCTION	HGD	MCP	01/17/24
2	REVISED PER CLIENT	SCF	MCP	07/07/23
3	REVISED PER SWMD & VOE COMMENTS	HGD	MCP	01/20/23

**RWA ENGINEERING**

12800 University Drive, Suite 175  
Fort Myers, Florida 33907  
(239) 597-0575 FAX: (239) 597-0578  
www.consult-rwa.com  
Florida Certificates of Authorization  
EB 7663 LB6952

DATE: NOV, 2022	HORIZ. SCALE (FULL): 1" = 30'
SEC: TWP: RGE: 10 47S 25E	HORIZ. SCALE (HALF): 1" = 60'
DESIGNED: MCP	VERT. SCALE (FULL): N/A
DRAWN: HGD	VERT. SCALE (HALF): N/A

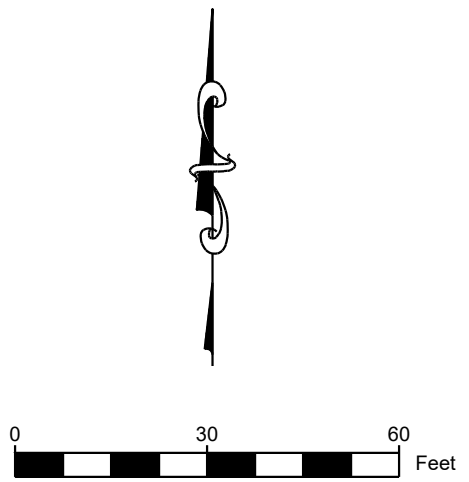
CLIENT: **THE COMMONS CLUB AT THE BROOKS, INC.**

TITLE: **PHASE 1 CONSTRUCTION**

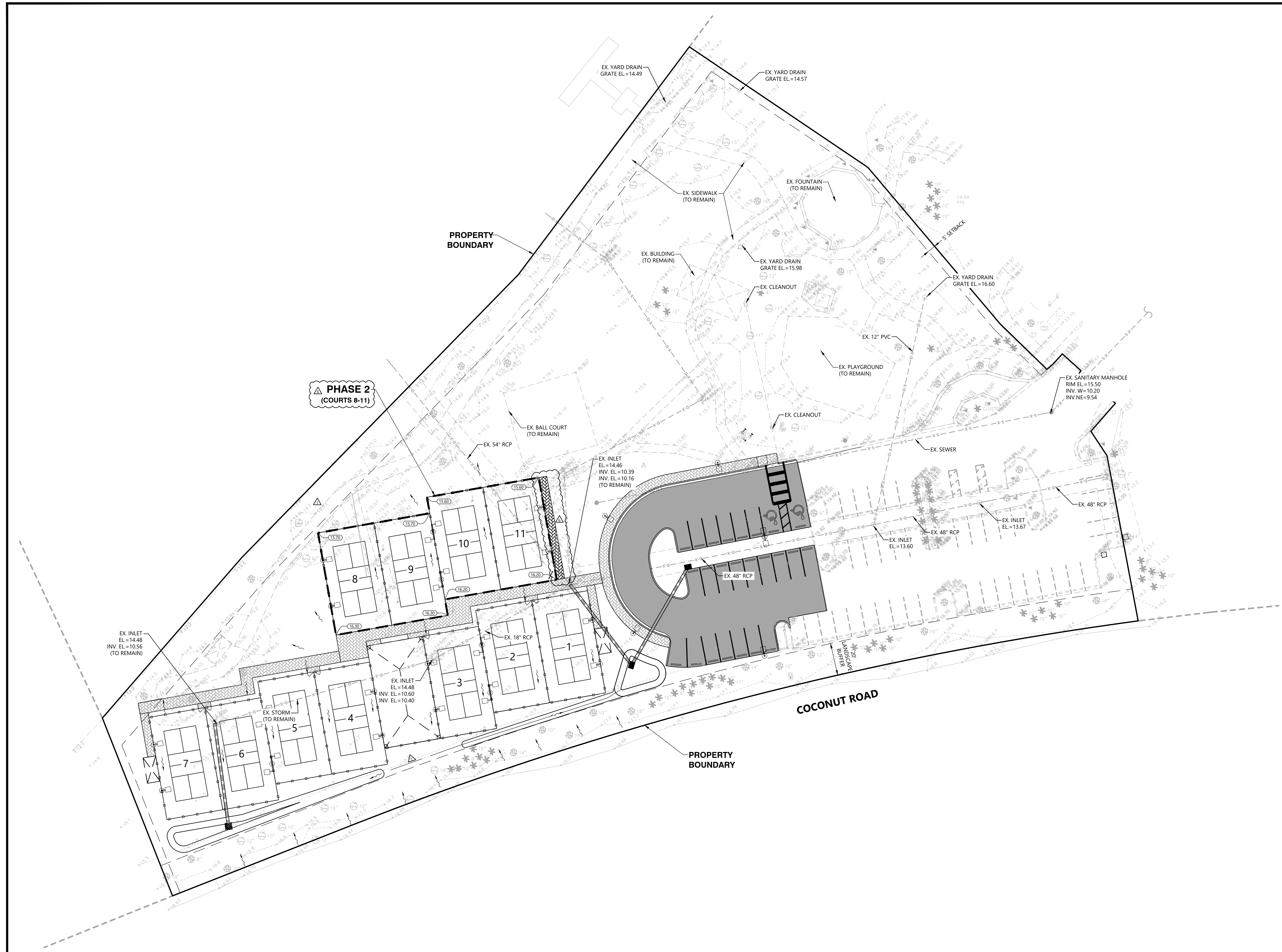
PROJECT: <b>THE COMMONS CLUB AT THE BROOKS PICKLEBALL FACILITY EXPANSION</b>	PROJECT NO.: 220002.00.02	FILE NAME: 05 2200020100C CP01	SHEET NUMBER: 05 OF 8
--	---------------------------	--------------------------------	-----------------------

MICHAEL C. PAPPAS  
FLORIDA LICENSE NO. 60910

February 12, 2024 9:32 AM K:\2022\220002.00.02 The Commons Club - Pickleball Redesign\03 Civil Design And Construction Plans\Current Plans\Sheet Files\05 2200020100C CP01.dwg



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
-S-X - - - -	-S-	SANITARY GRAVITY SEWER
-W-X - - - -	-W-	WATER MAIN
-F-X - - - -	-F-	FORCE MAIN
-I-X - - - -	-I-	IRRIGATION MAIN
-FL-X - - - -	-FL-	FIRE MAIN
-D-X - - - -	-D-	STORM SEWER
○	●	SANITARY MANHOLE
□	■	STORM INLET/JUNCTION BOX
▽	▽	STORM FLARED END
○	○	CLEAN-OUT (SINGLE)
○	○	WATER METER
○	○	GATE VALVE
○	○	PARALLEL FIRE HYDRANT ASSEMBLY
N/A	○	POWER POLE
N/A	○	POWER POLE
N/A	■	PROPOSED PAVEMENT
N/A	■	PROPOSED BRICK PAVERS
N/A	- - - -	PROPOSED PHASE LINE



REV #	REVISION	HGD	MCP	DATE
1	CHANGED CLIENT AND REVISED COURT CONSTRUCTION			01/17/24
2	REVISED PER SPWMD & VOE COMMENTS			01/20/23
	REVISION	DRAWN	CHECKED	DATE

**RWA ENGINEERING**

12800 University Drive, Suite 175  
Fort Myers, Florida 33907  
(239) 597-0575 FAX: (239) 597-0578  
www.consult-rwa.com  
Florida Certificates of Authorization  
EB 7663 LB6952

DATE: NOV, 2022	HORIZ. SCALE (FULL): 1" = 30'
SEC: 10 TWP: 47S RGE: 25E	HORIZ. SCALE (HALF): 1" = 60'
DESIGNED: MCP	VERT. SCALE (FULL): N/A
DRAWN: HGD	VERT. SCALE (HALF): N/A

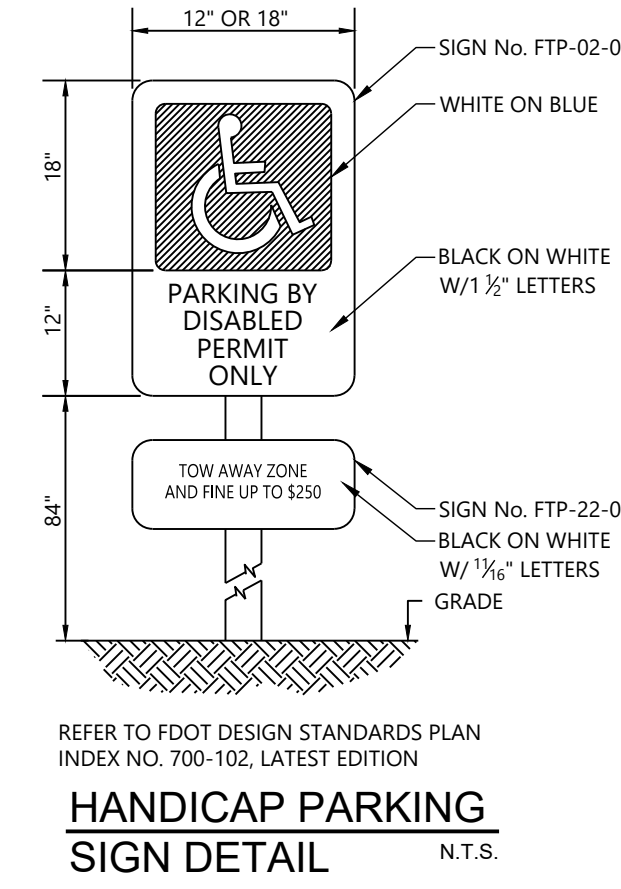
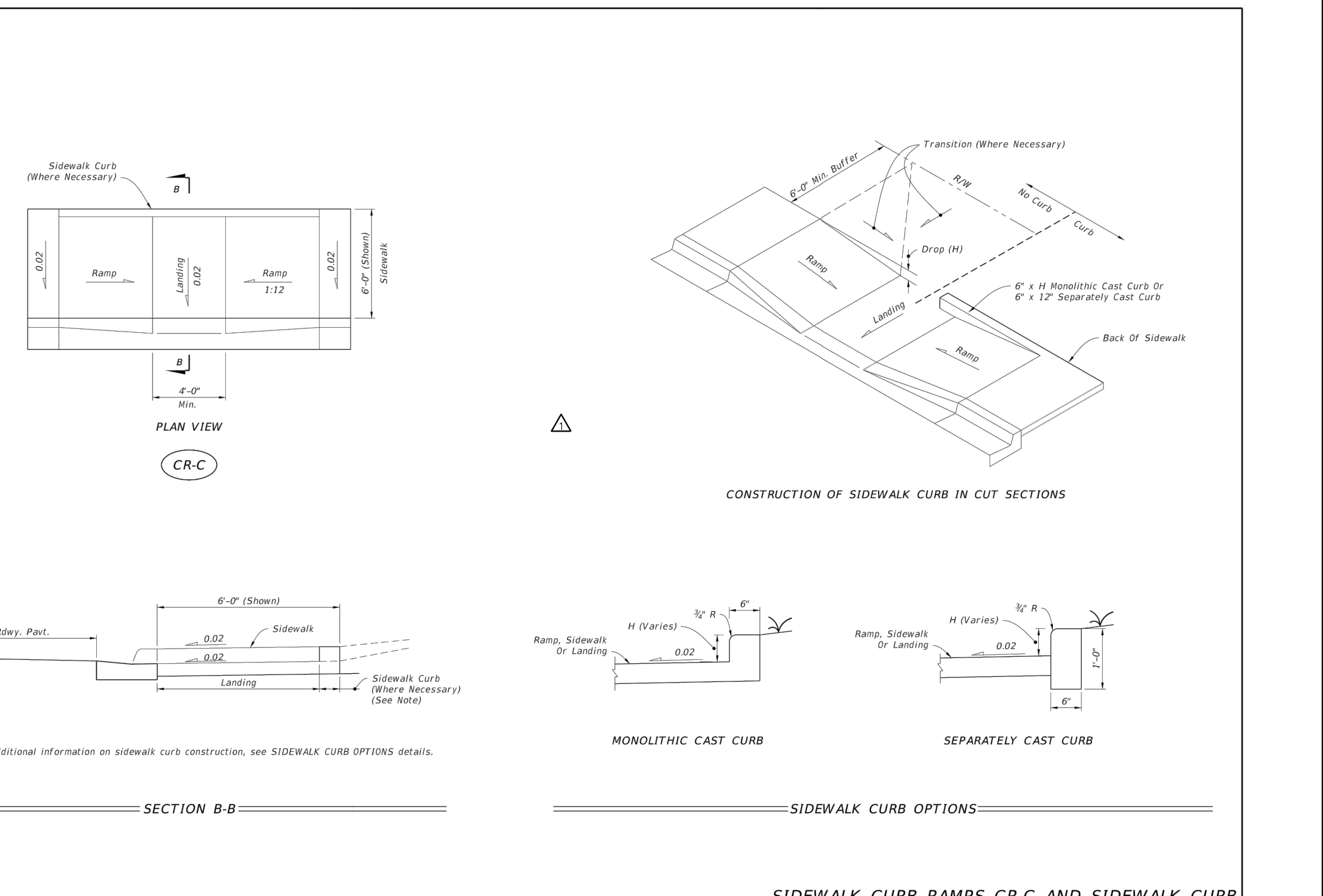
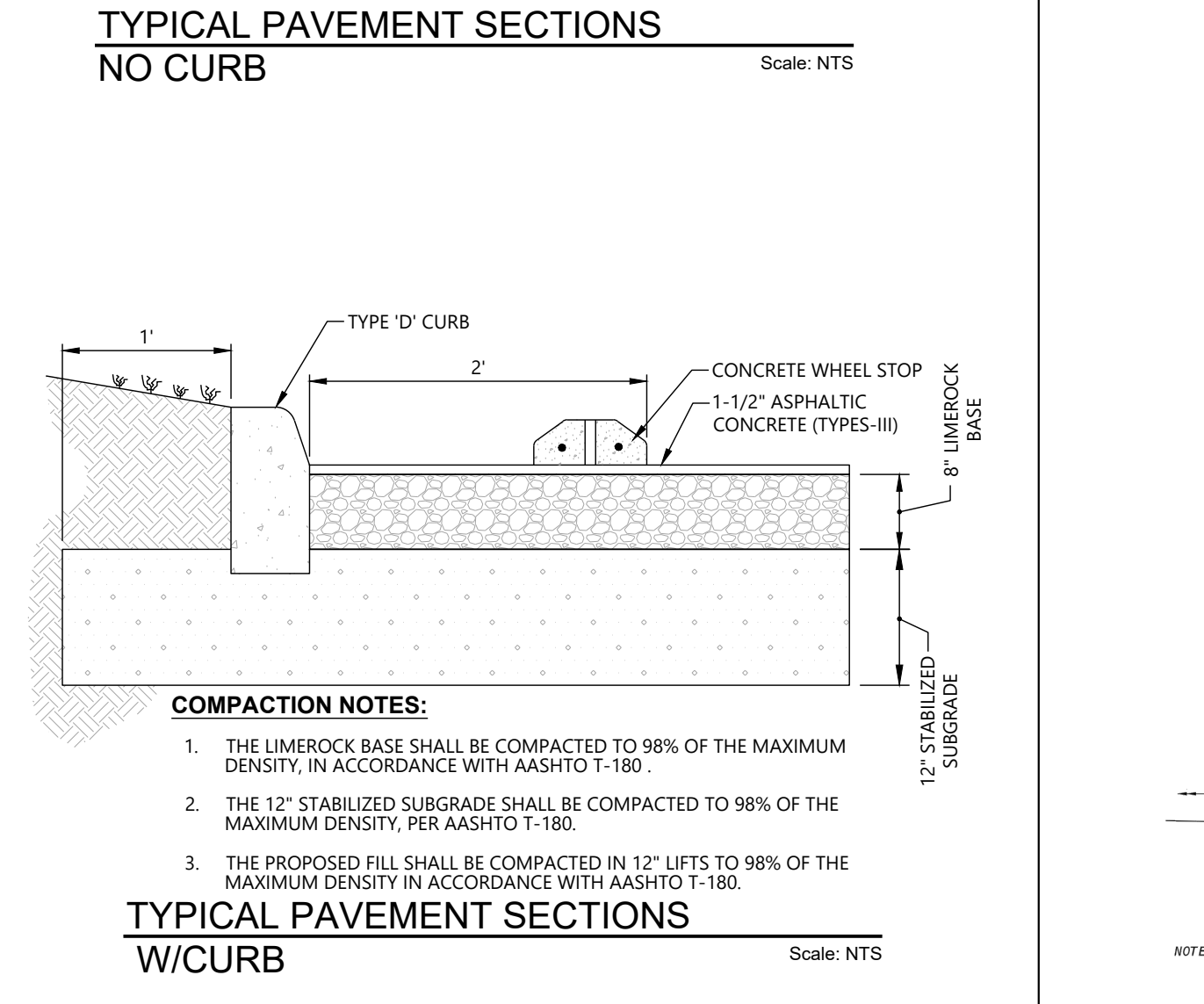
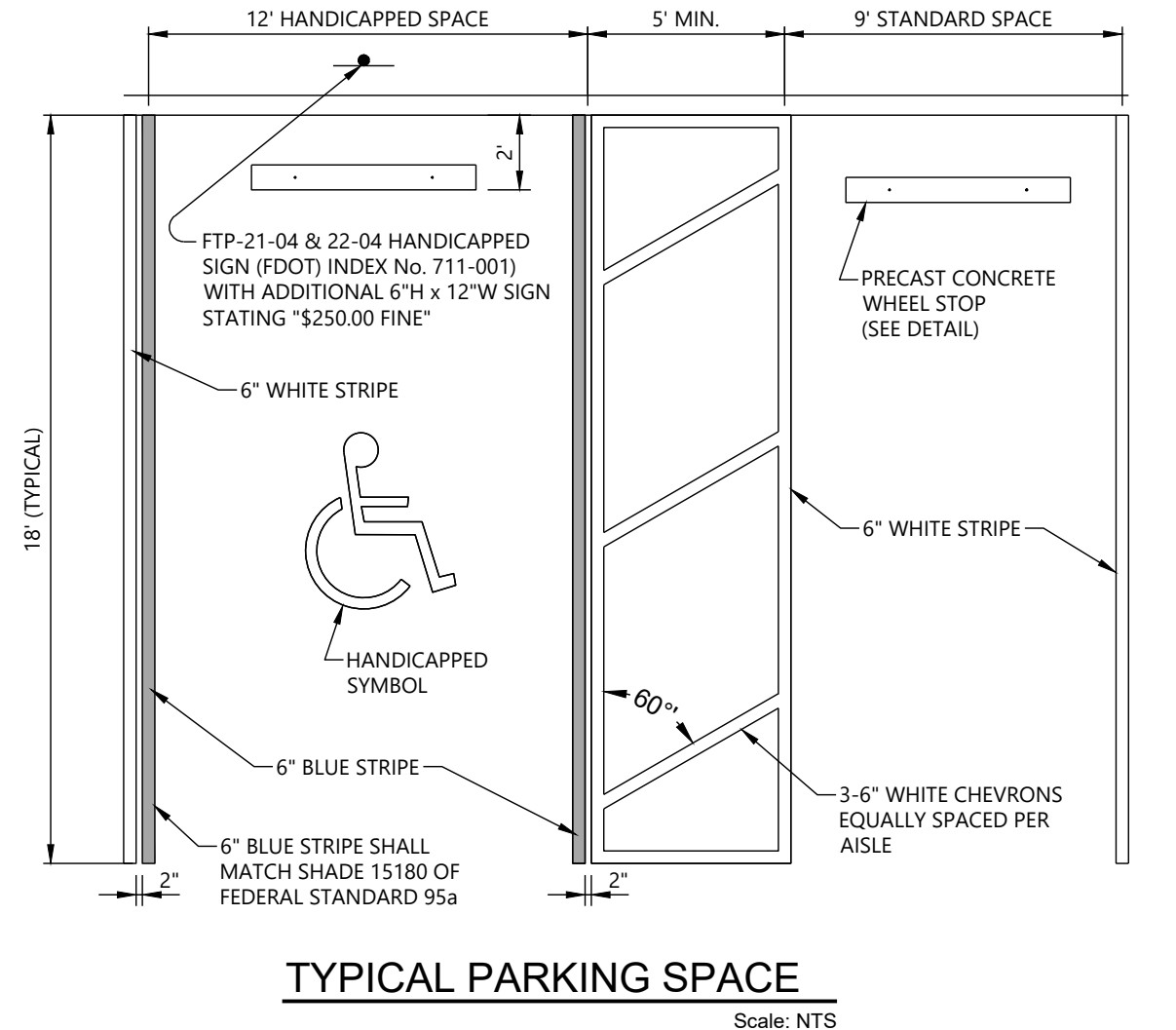
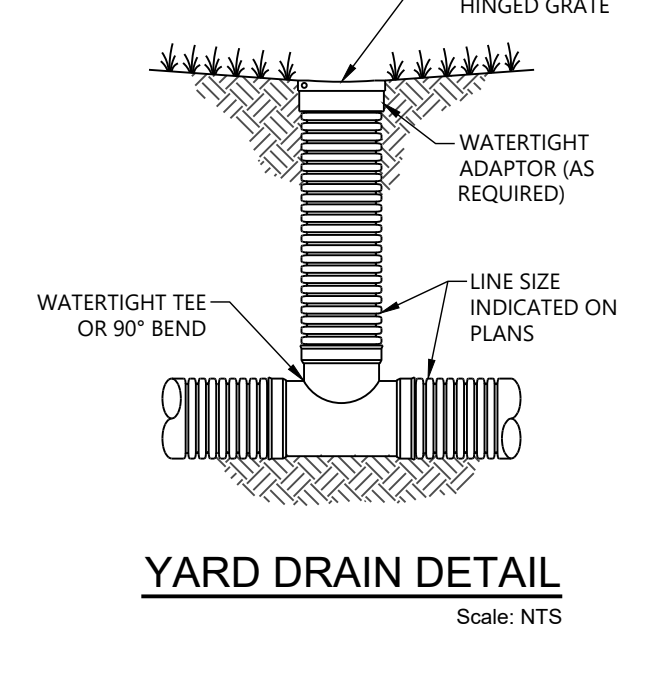
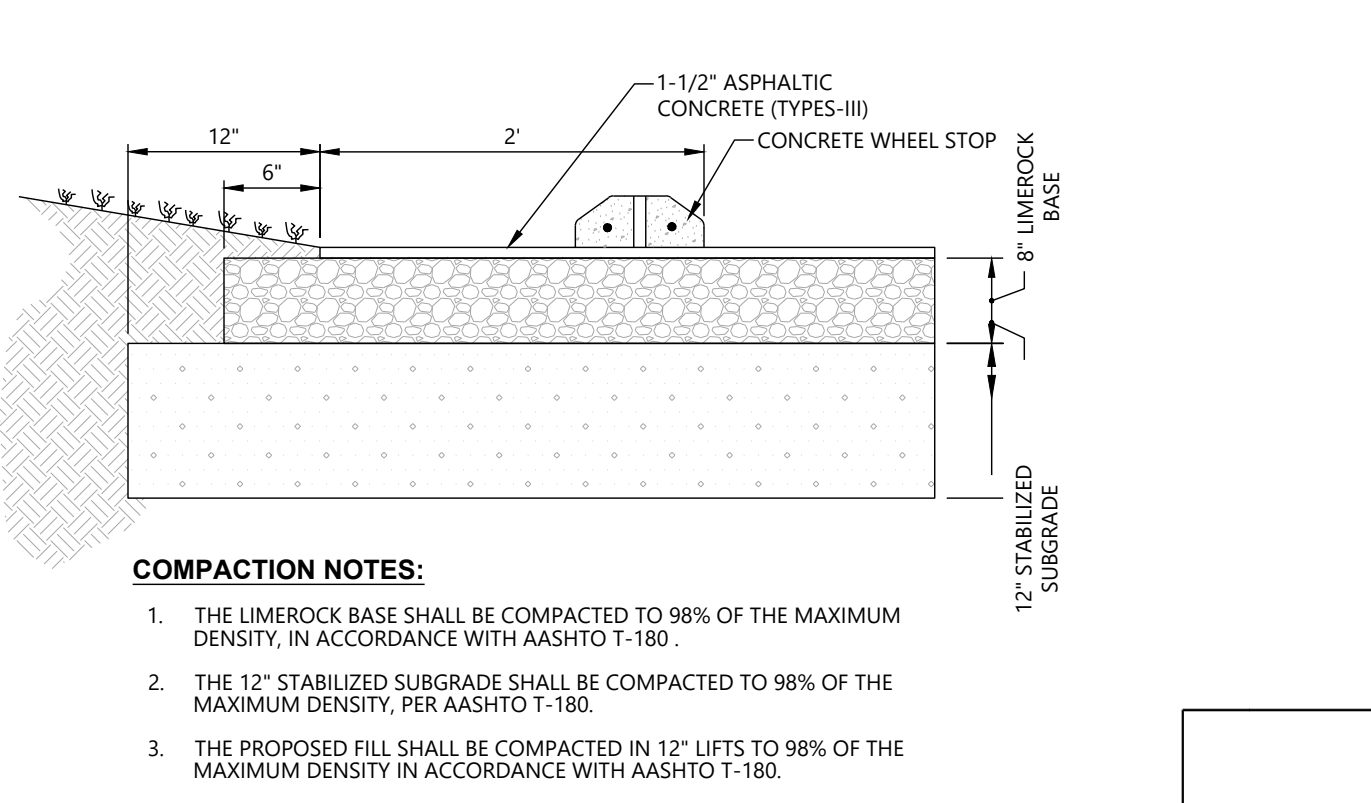
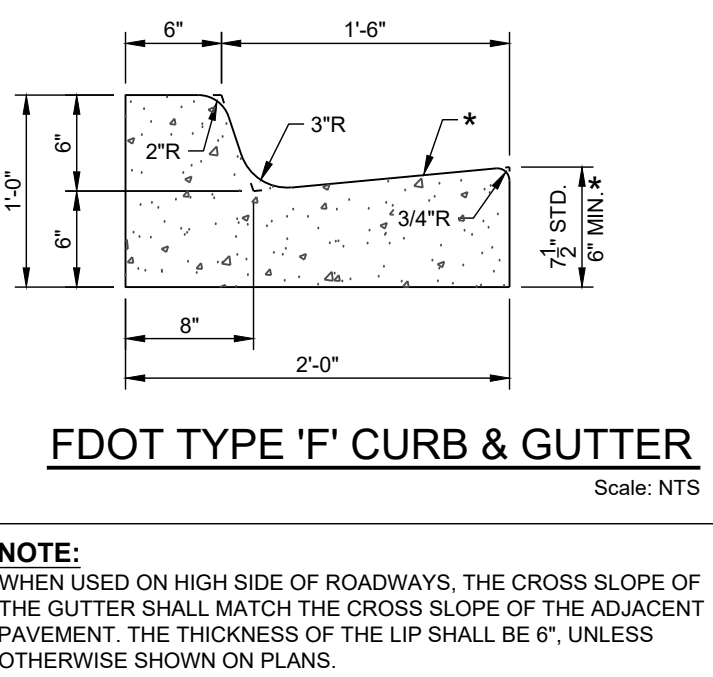
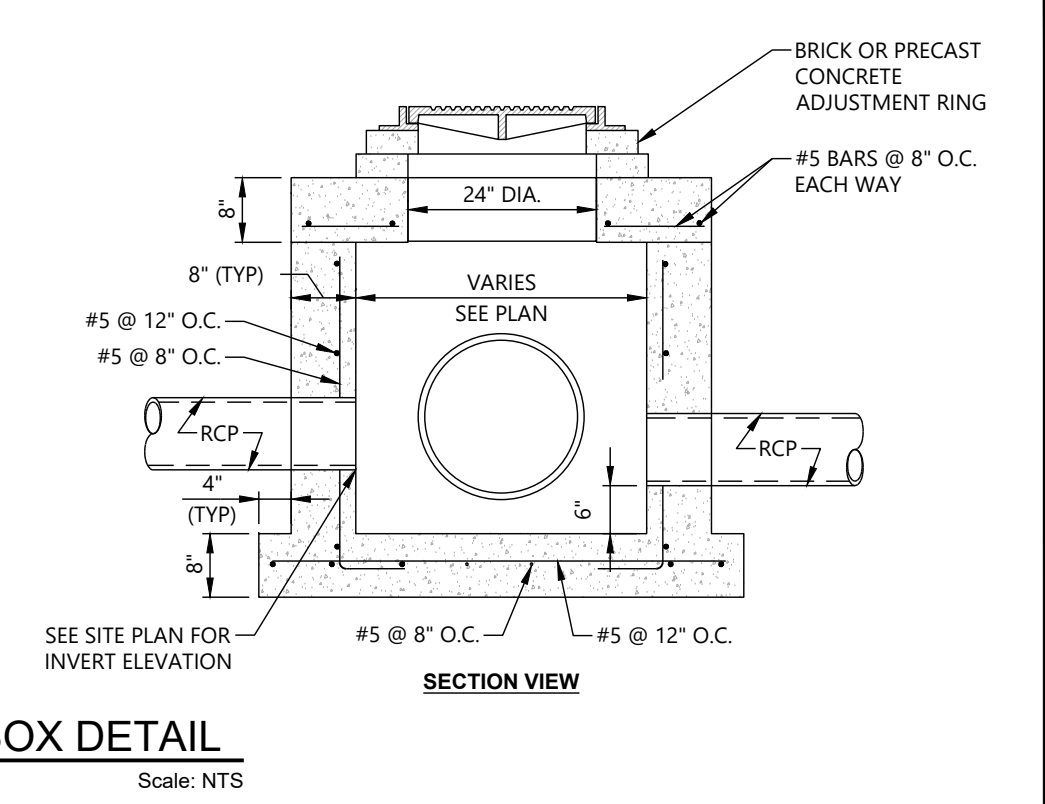
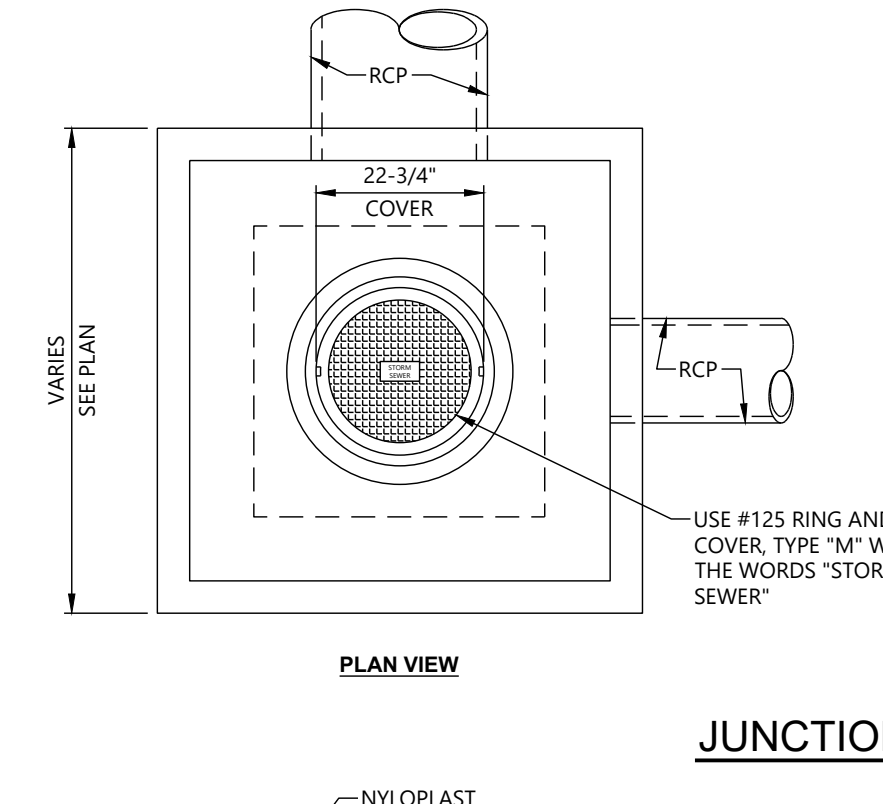
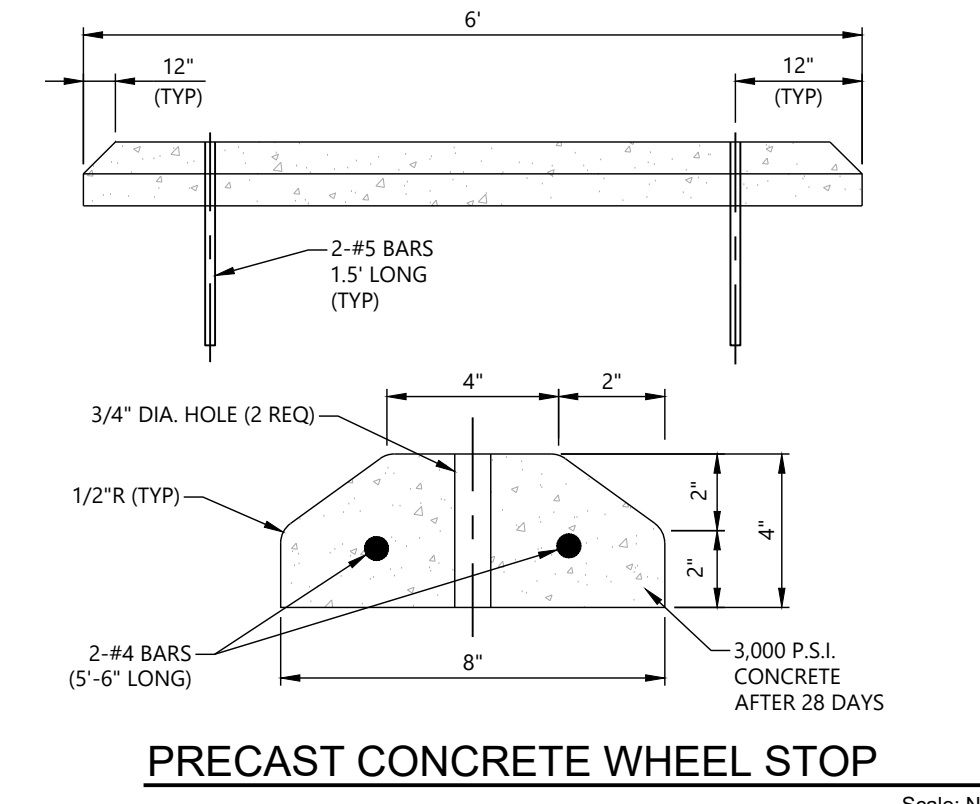
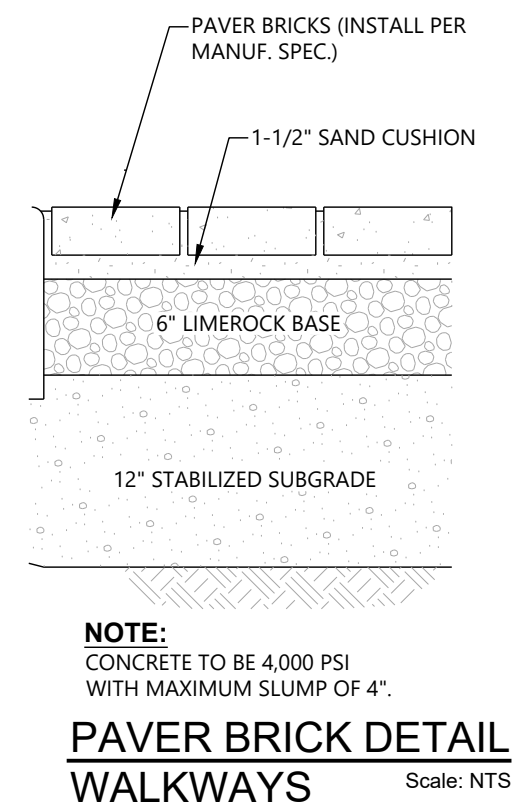
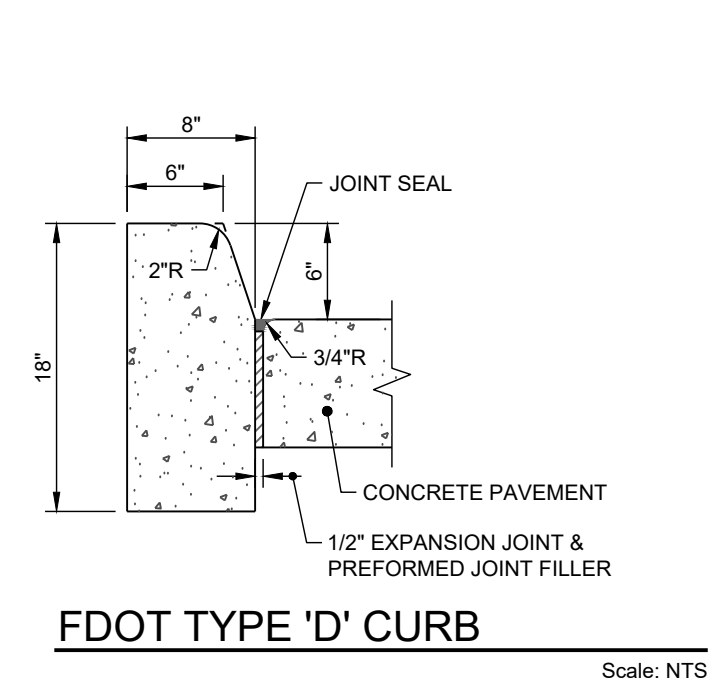
CLIENT: **THE COMMONS CLUB AT THE BROOKS, INC.**

TITLE: **PHASE 2 CONSTRUCTION**

PROJECT: <b>THE COMMONS CLUB AT THE BROOKS PICKLEBALL FACILITY EXPANSION</b>	PROJECT NO.: 220002.00.02	FILE NAME: 06 2200020100C CP02	SHEET NUMBER: 06 OF 8
--	---------------------------	--------------------------------	-----------------------

MICHAEL C. PAPPAS  
FLORIDA LICENSE NO. 60910

February 12, 2024 9:33 AM K:\2022\220002\00.02 The Commons Club - Pickleball Redesign\03 Civil Design And Construction Plans\Current Plans\Sheet Files\06 2200020100C CP02.dwg



LAST REVISION: 11/01/20	DESCRIPTION: 2	DATE: 11/01/20	DESCRIPTION: 2	DATE: 11/01/20	DESCRIPTION: 2	DATE: 11/01/20	DESCRIPTION: 2	DATE: 11/01/20	DESCRIPTION: 2		
FY 2023-24 STANDARD PLANS			DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS			INDEX 522-002			SHEET 3 of 7		

CHANGED CLIENT AND REVISED COURT CONSTRUCTION	HGD	MCP	01/17/24
REVISED PER SPWMD & VOE COMMENTS	HGD	MCP	01/20/23
REVISION	DRAWN	CHECKED	DATE

**RWA ENGINEERING**

12800 University Drive, Suite 175  
Fort Myers, Florida 33907  
(239) 597-0575 FAX: (239) 597-0578  
www.consult-rwa.com  
Florida Certificates of Authorization  
EB 7663 LB6952

DATE: NOV, 2022	HORIZ. SCALE (FULL): N/A
SEC.: TWP: RGE: 10 47S 25E	HORIZ. SCALE (HALF): N/A
DESIGNED: MCP	VERT. SCALE (FULL): N/A
DRAWN: HGD	VERT. SCALE (HALF): N/A

CLIENT: **THE COMMONS CLUB AT THE BROOKS, INC.**

TITLE: **PAVING GRADING & DRAINAGE DETAILS**

PROJECT: **THE COMMONS CLUB AT THE BROOKS PICKLEBALL FACILITY EXPANSION**

PROJECT NO.: 220002.00.02

FILE NAME: 07 2200020100C PGD01

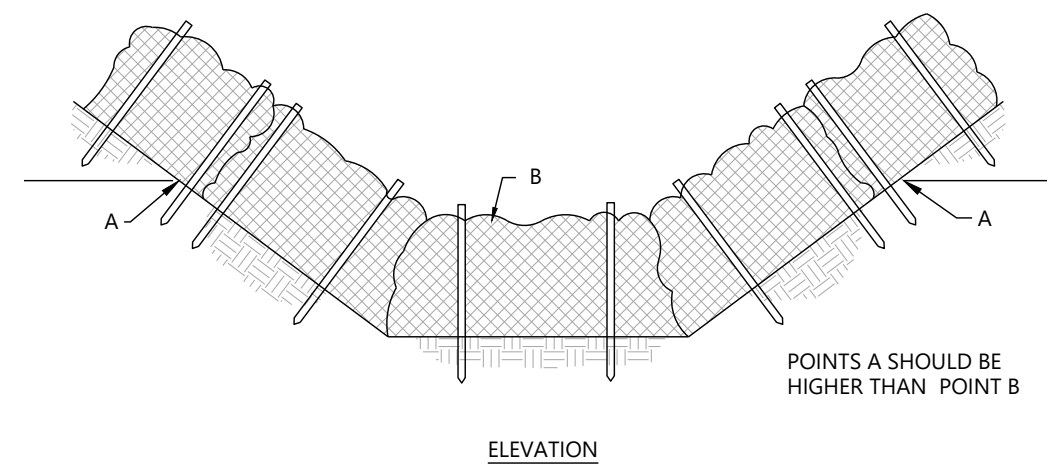
SHEET NUMBER: 07 OF 8

MICHAEL C. PAPPAS  
FLORIDA LICENSE NO. 60910

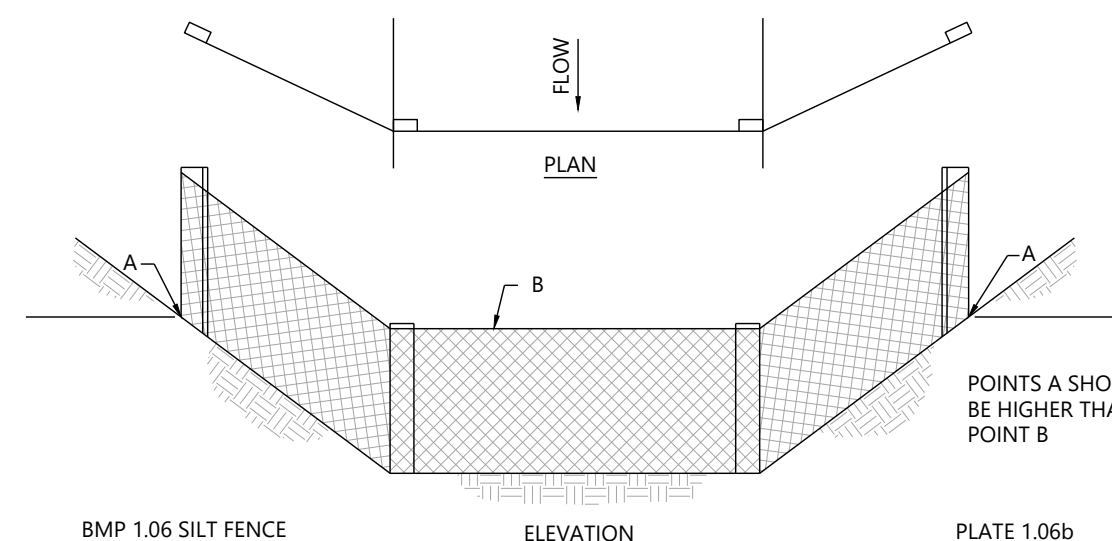
February 8, 2024 11:23 AM K:\2022\220002\002 The Commons Club - Pickleball Redesign\03 Civil Design And Construction Plans\Current Plans\Sheet Files\07 2200020100C PGD01.dwg

**GENERAL NOTES:**

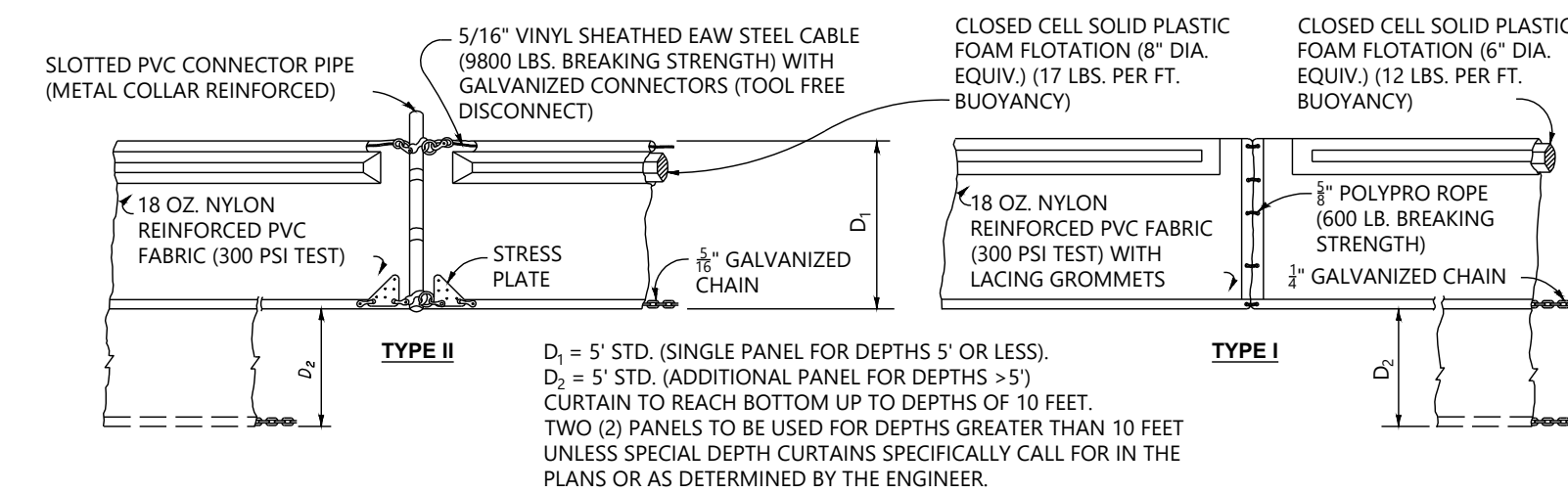
- PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY APPROPRIATE EROSION CONTROL DEVICES SHALL BE INSTALLED TO CONTROL AND REDUCE SOIL EROSION AND SEDIMENT TRANSPORT TO OFF-SITE AREAS. THE CONTRACTOR SHALL MAINTAIN THESE DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEVICES SHALL REMAIN IN PLACE UNTIL THE SURROUNDING AREAS ARE ESTABLISHED.
- THE FOLLOWING MINIMUM REQUIREMENTS ARE RECOMMENDED. (REFERENCE FLORIDA DEVELOPMENT MANUAL, FDER, PPS 6-301 TO 6-500).
- THESE BEST MANAGEMENT PRACTICES (BMP) ARE TYPICAL OF REQUIREMENTS FOR SOIL EROSION CONTROL PER LOCAL REQUIREMENTS. THEY MAY NOT CONSTITUTE COMPLETE REQUIREMENTS FOR COMPLIANCE WITH REGULATORY AGENCIES AND SPECIFIC PERMIT CONDITIONS.
  - A) BMP 1.01 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
  - B) BMP 1.05 SYNTHETIC SOCK BARRIER
  - C) BMP 1.06 SILT FENCE
  - D) BMP 1.08 STORM INLET DRAIN PROTECTION



**PROPER PLACEMENT OF SYNTHETIC SOCK BARRIER IN A DRAINAGE WAY**  
Scale: NTS

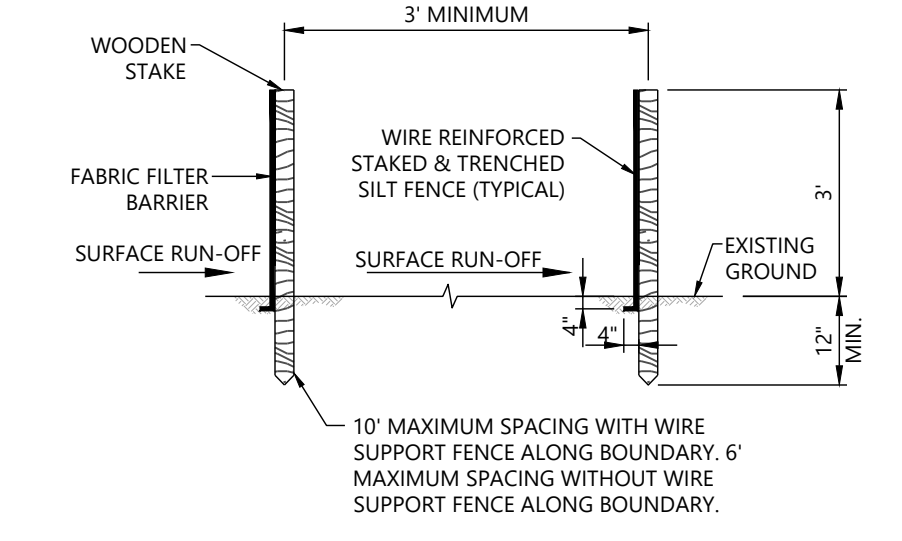


**PROPER PLACEMENT OF A FILTER BARRIER IN A DRAINAGE WAY**  
Scale: NTS

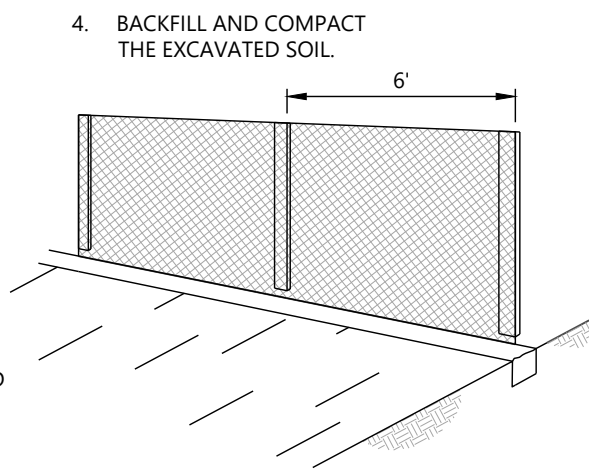
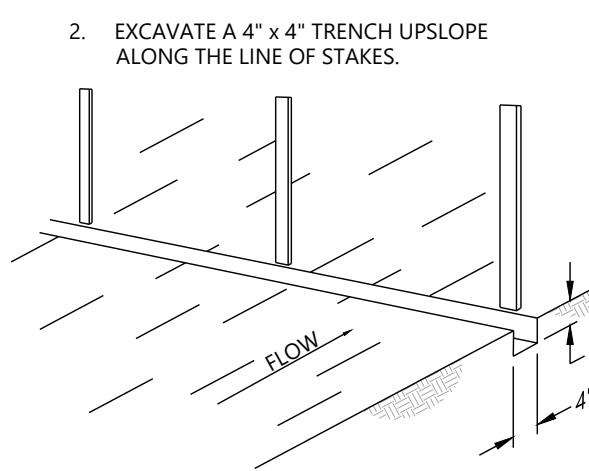
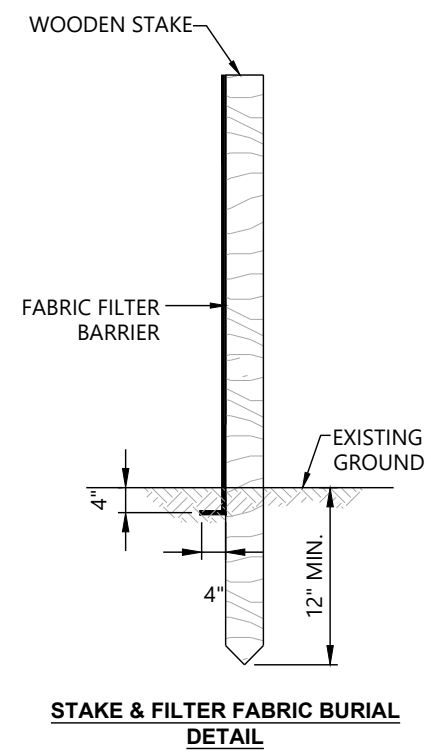
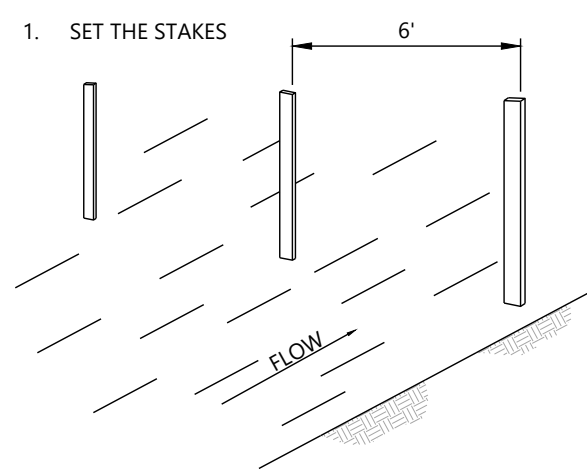


**NOTICE:** COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

**FLOATING TURBIDITY BARRIERS**  
Scale: NTS

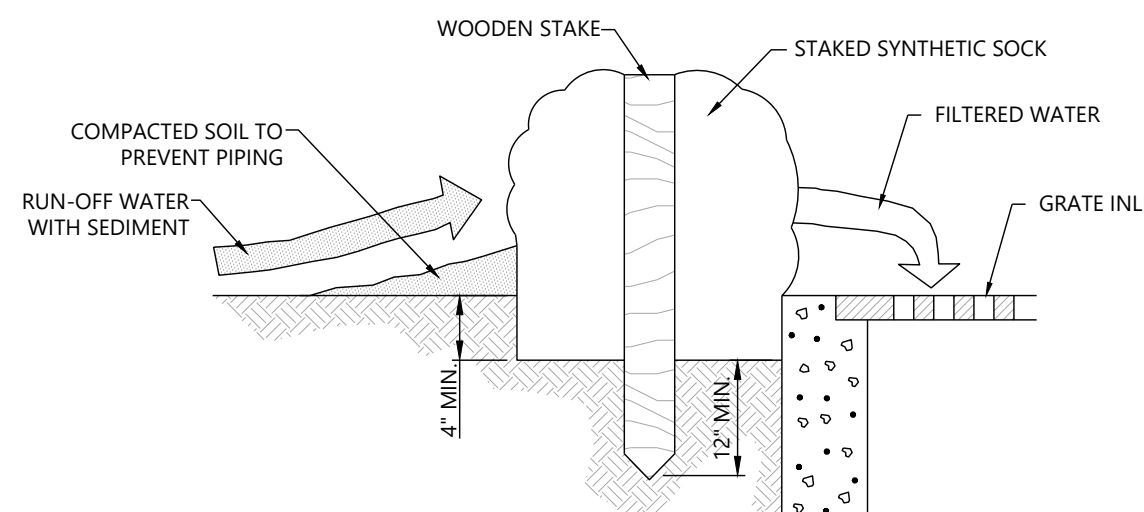
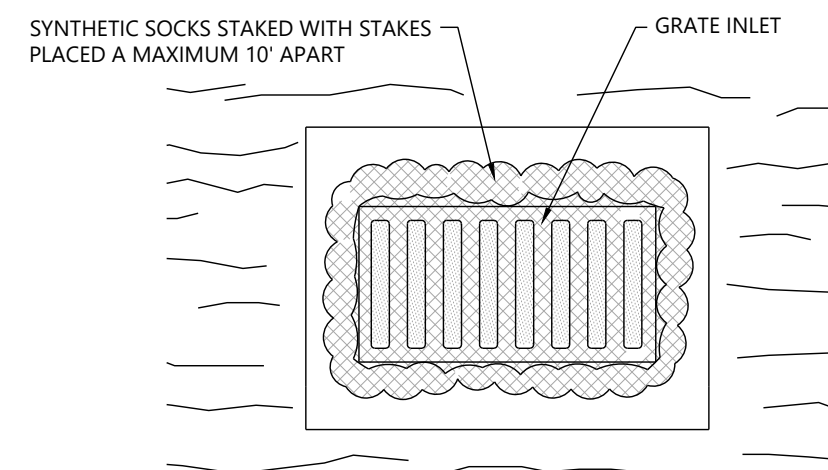


**DOUBLE ROW STAKED SILT FENCE**  
Scale: NTS



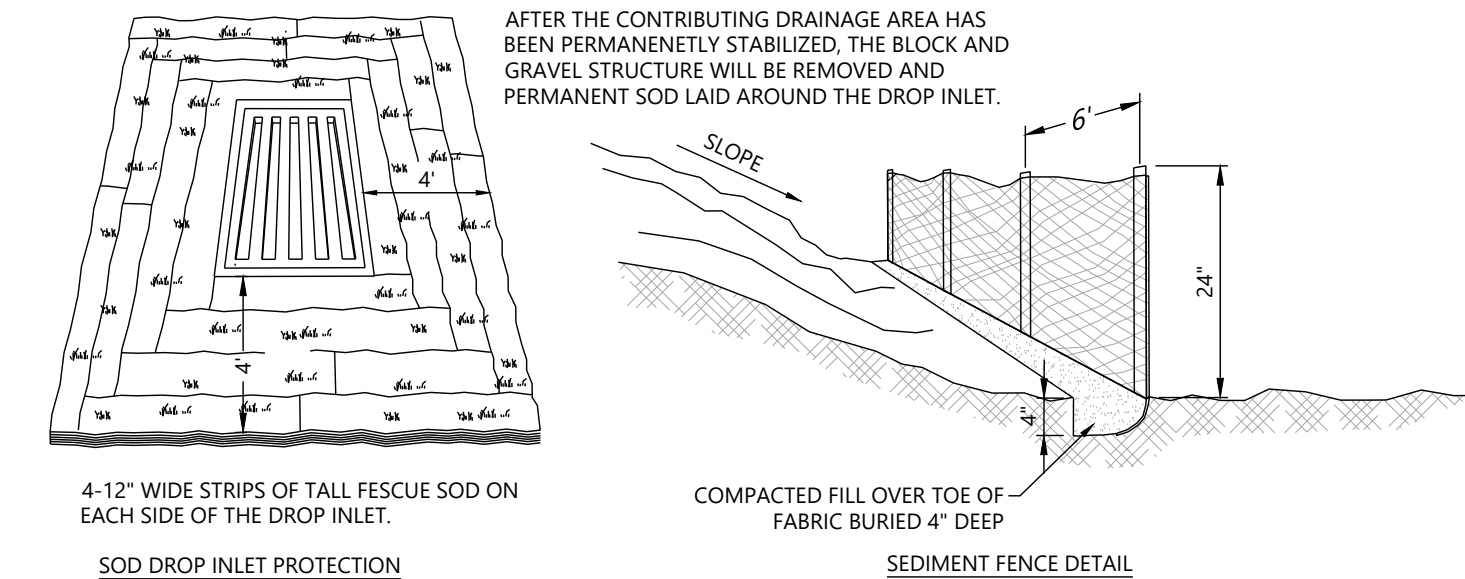
**STAKE & FILTER FABRIC BURIAL DETAIL**  
Scale: NTS

**CONSTRUCTION OF A FILTER BARRIER**  
Scale: NTS

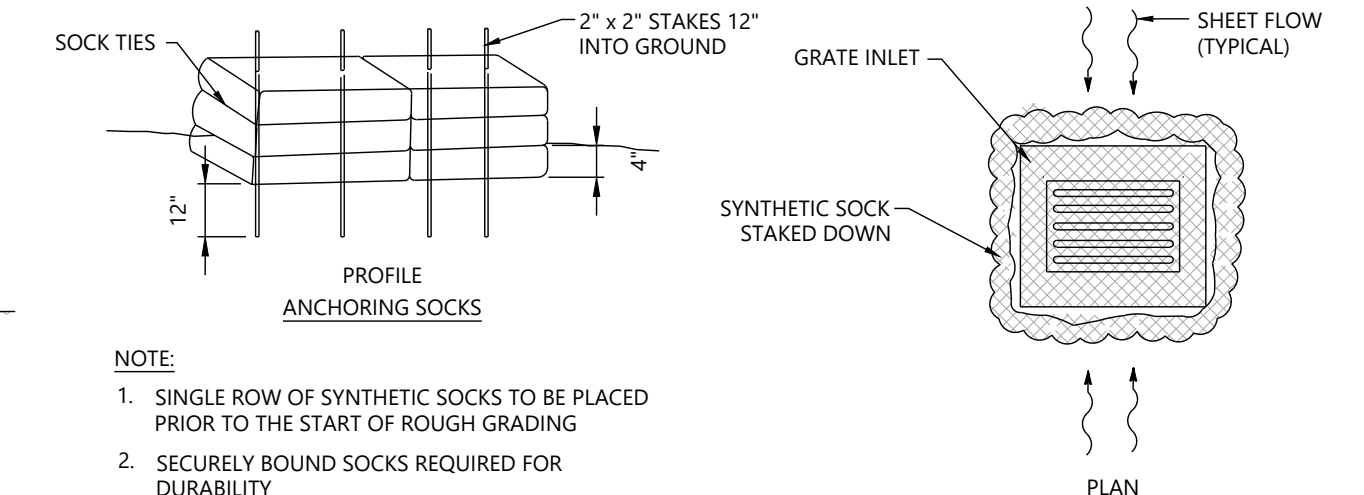


**SPECIFIC APPLICATION**  
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

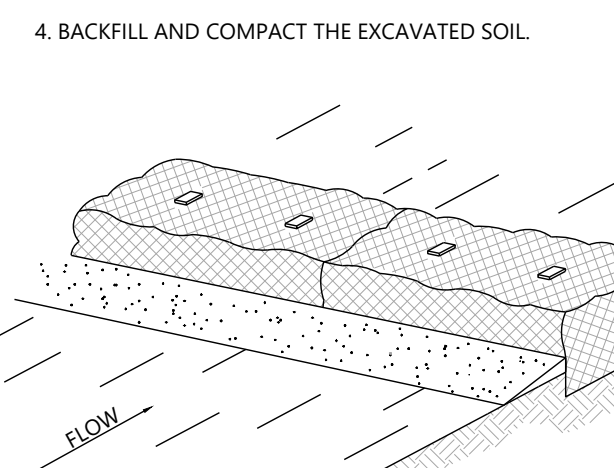
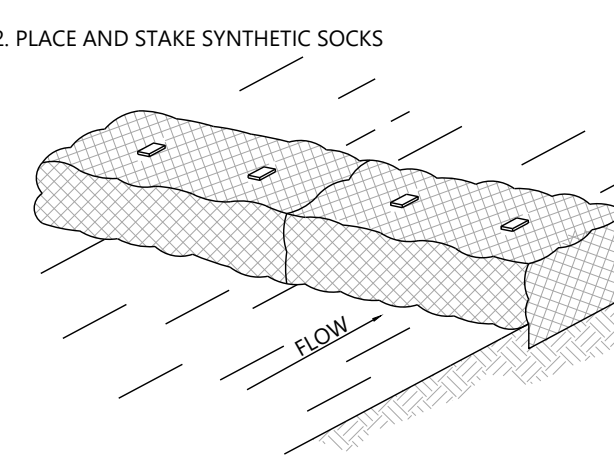
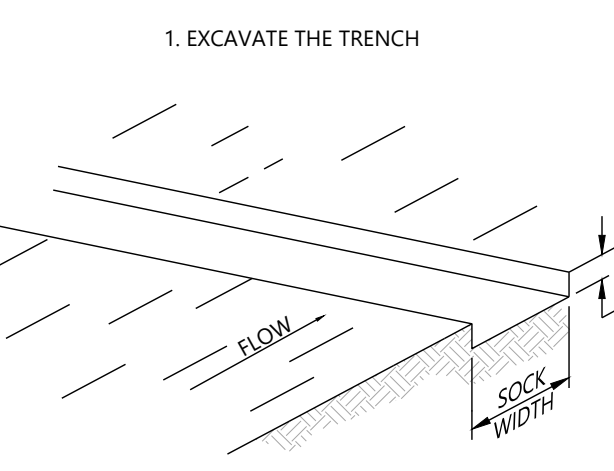
**SYNTHETIC SOCK DROP INLET SEDIMENT FILTER**  
Scale: NTS



**SEDIMENTATION / EROSION CONTROL DETAIL**  
Scale: NTS

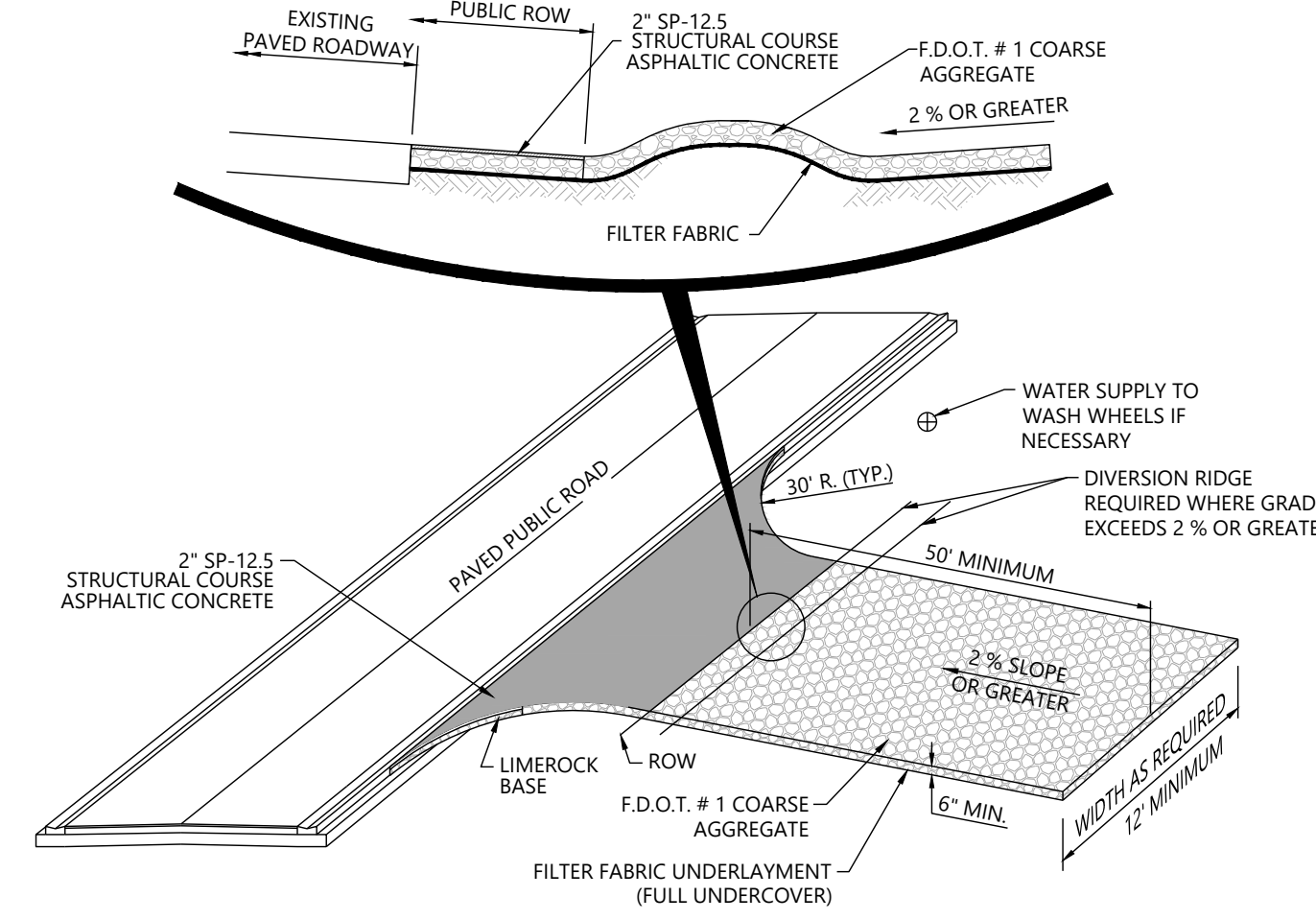


**TEMPORARY SYNTHETIC SOCK SEDIMENT BARRIER (TYPICAL FOR ALL GRATE INLETS)**  
Scale: NTS



- CONSTRUCTION NOTES:**
- A SYNTHETIC FILTER SOCK SHALL BE A PHOTODEGRADABLE OF BIODEGRADABLE MESH NETTING MATERIAL PROVIDING A MINIMUM OF 9 MONTHS EXPECTED USABLE LIFE AT A TEMPERATURE RANGE OF 0°F TO 120°F.
  - THE MEDIA WITHIN THE FILTER SOCK SHALL CONTAIN COMPOSTED MATERIAL SUITABLE FOR REMOVING SOLIDS AND SOLUBLE POLLUTANTS FROM STORMWATER RUNOFF.
  - SOCKS ARE AVAILABLE IN 9-INCH, 12-INCH, 18-INCH, AND 24-INCH DIAMETERS FOR A VARIETY OF APPLICATIONS AND MAY BE STACKED FOR INCREASED STORAGE CAPACITY.
  - POSTS FOR THE FILTER SOCK SHALL BE 2 X 2 INCHES WOOD (PREFERRED), OR EQUIVALENT METAL WITH A MAXIMUM HEIGHT OF 3 FEET.
  - POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 8 INCHES IN CLAY SOILS OR 12 INCHES FOR SAND SOILS. FOR USE ON PAVEMENT, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE FILTER SOCKS FOR STABILIZATION.
  - A MINIMUM OF 1 FOOT OVERLAP IS REQUIRED WHEN JOINING TWO FILTER SOCKS TOGETHER. TWO STAKES MUST BE DRIVEN THROUGH BOTH ADJOINING ENDS.
  - FILTER SOCKS SHALL BE REMOVED OR CUT OPEN WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA IS PERMANENTLY STABILIZED.

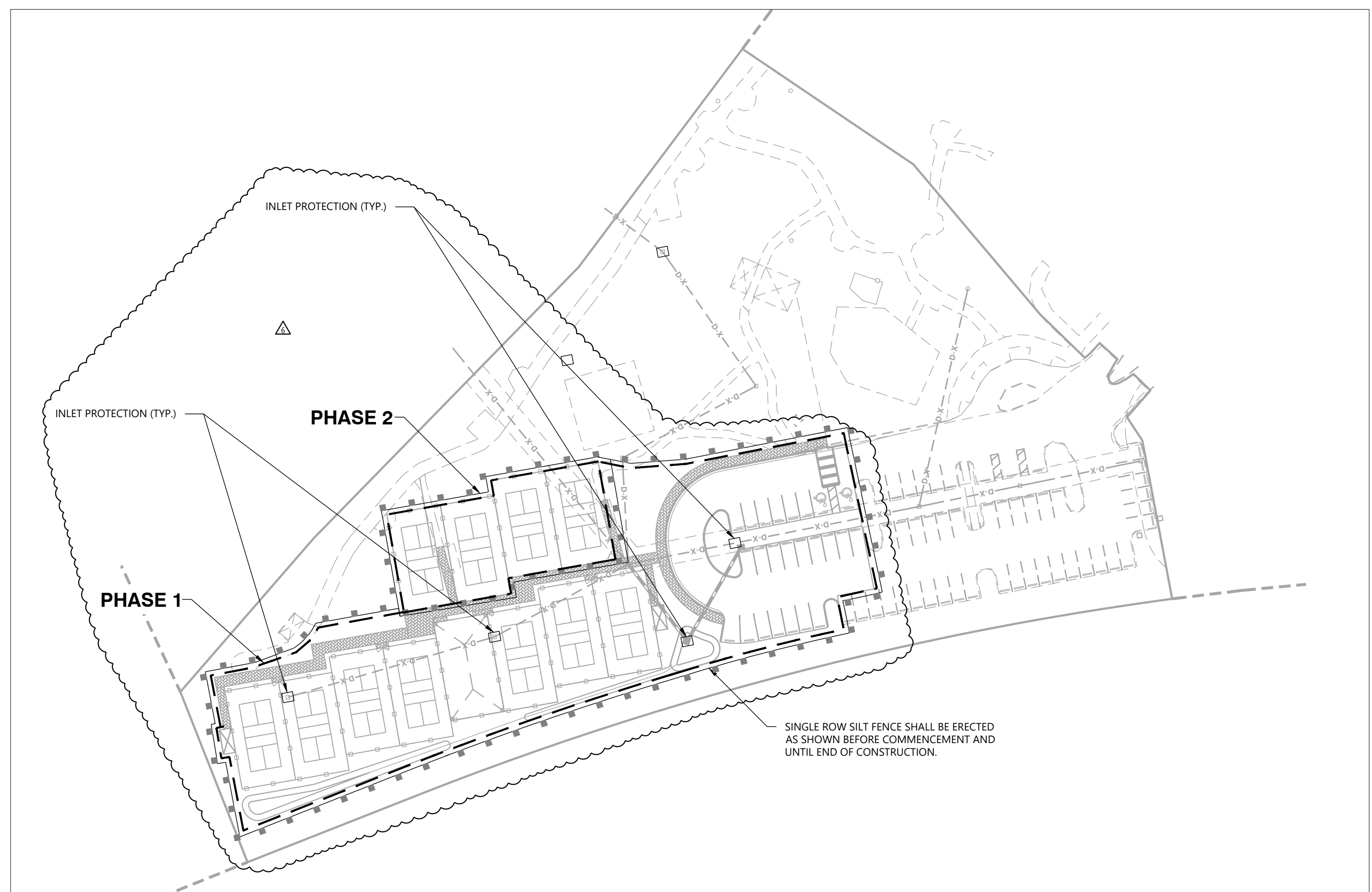
**CONSTRUCTION OF A SYNTHETIC SOCK BARRIER**  
Scale: NTS



- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

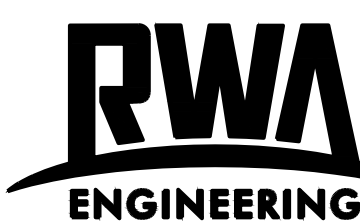
BMP 1.01 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SOURCE: VIRGINIA DIVISION OF SOIL AND WATER CONSERVATION  
SOURCE: Va SWCC BMP 1.01 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE  
SCALE: 1/8" = 1'-0"

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**  
Scale: NTS



**SILT FENCE LOCATION - PLAN VIEW**  
Scale: 1" = 60'

REV #	REVISION	HGD	MCP	DATE
1	CHANGED CLIENT AND REVISED COURT CONSTRUCTION			01/17/24



12800 University Drive, Suite 175  
Fort Myers, Florida 33907  
(239) 597-0575 FAX: (239) 597-0578  
www.consult-rwa.com  
Florida Certificates of Authorization  
EB 7663 LB6952

DATE:	NOV, 2022	HORIZ. SCALE (FULL):	N/A
SEC:	TWP: RGE: 10 47S 25E	HORIZ. SCALE (HALF):	N/A
DESIGNED:	MCP	VERT. SCALE (FULL):	N/A
DRAWN:	HGD	VERT. SCALE (HALF):	N/A

CLIENT: THE COMMONS CLUB AT THE BROOKS, INC.

TITLE: EROSION CONTROL PLAN

PROJECT:	THE COMMONS CLUB AT THE BROOKS		
PROJECT NO.:	220002.00.02	FILE NAME:	08 2200020100C EC01
SHEET NUMBER:	08 OF 8	MICHAEL C. PAPPAS	FLORIDA LICENSE NO. 60910